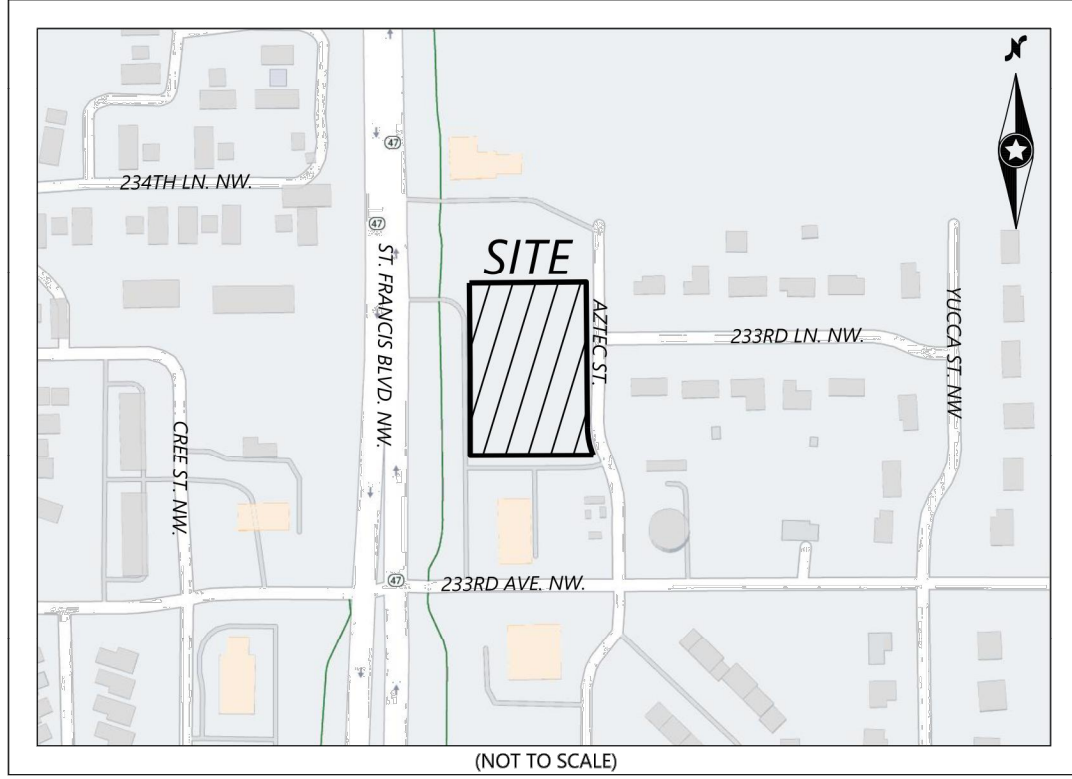


VICINITY MAP



SCH. B EXCEPTIONS

- The following notes correspond to the numbering system of Schedule B, Part II of the title commitment mentioned herein.
- Easement for electric transmission or distribution lines or systems purposes, in favor of Anoka Electric Cooperative, a Minnesota cooperative association (formerly known as Anoka County Cooperative Light and Power Association), as contained in the Right-of-Way Easement dated January 30, 1939, filed March 10, 1939, as Document No. 96339, Book 162, Page 457, and as affected by Release of Easement dated March 16, 1999, recorded June 29, 1999, as Document No. 1439291.0. (APPLIES, PLOTTED HEREON)
 - Easement for drainage purposes, in favor of the City of St. Francis, as contained within Resolution No. 89-20, dated October 16, 1989, recorded December 8, 1989, as Document No. 874659, and the terms and conditions contained therein. (DOES NOT AFFECT THE SUBJECT PARCEL)
 - Limitations of access to Trunk Highway No. 47, as shown by Minnesota Department of Transportation Right of Way Plat No. 02-29, recorded April 29, 2002, as Document No. 1670396, Land Surveyor's Certificate of Correction recorded February 10, 2004, as Document No. 1896759.0, (APPLIES, PLOTTED HEREON)
 - Drainage and utility easements as shown on the plat of Crown 2nd Addition, recorded September 20, 2016, as Document No. 2149164.002. (APPLIES, PLOTTED HEREON)
 - Terms, provisions, restrictions and easements as contained in the Declaration of Easement dated September 19, 2016, recorded September 20, 2016, as Document No. 2149164.003. (APPLIES, PLOTTED HEREON)

GENERAL NOTES

- Plat Reference: Book 79, Abstract Page 26, Anoka County Land Records
- Bearings are based on the North American Datum of 1983 (2011 adjustment), Anoka County Coordinate System.
- Vertical data is referenced to the North American Vertical Datum of 1988.
- This survey was completed using Title Commitment GF No. NCS-1157486-MICH, with Effective Date November 29, 2022, provided by First American Title Insurance Company.
- A Gopher State One Call utility locate request was placed on 1/20/2023, under Ticket No. 230200199. Utilities notified were the City of St. Francis, CenturyLink, Connexus Energy, Midcontinent Communications, Center Point Energy, MNDOT, and Zayo Bandwidth.
- The tract shown herein is located within the City of St. Francis and is zoned Business Park District (BPK). Building setbacks for the district that are applicable to this site are shown hereon. The Surveyor interprets the frontage along Aztec Street NW to be the rear of the property. The 25-foot setback shown hereon is based on this interpretation. The city requires a 35-foot front setback from local streets. Client to confirm with city which setback is required.
- The subject tract abuts and currently have vehicular access to Minnesota State Highway No. 47.

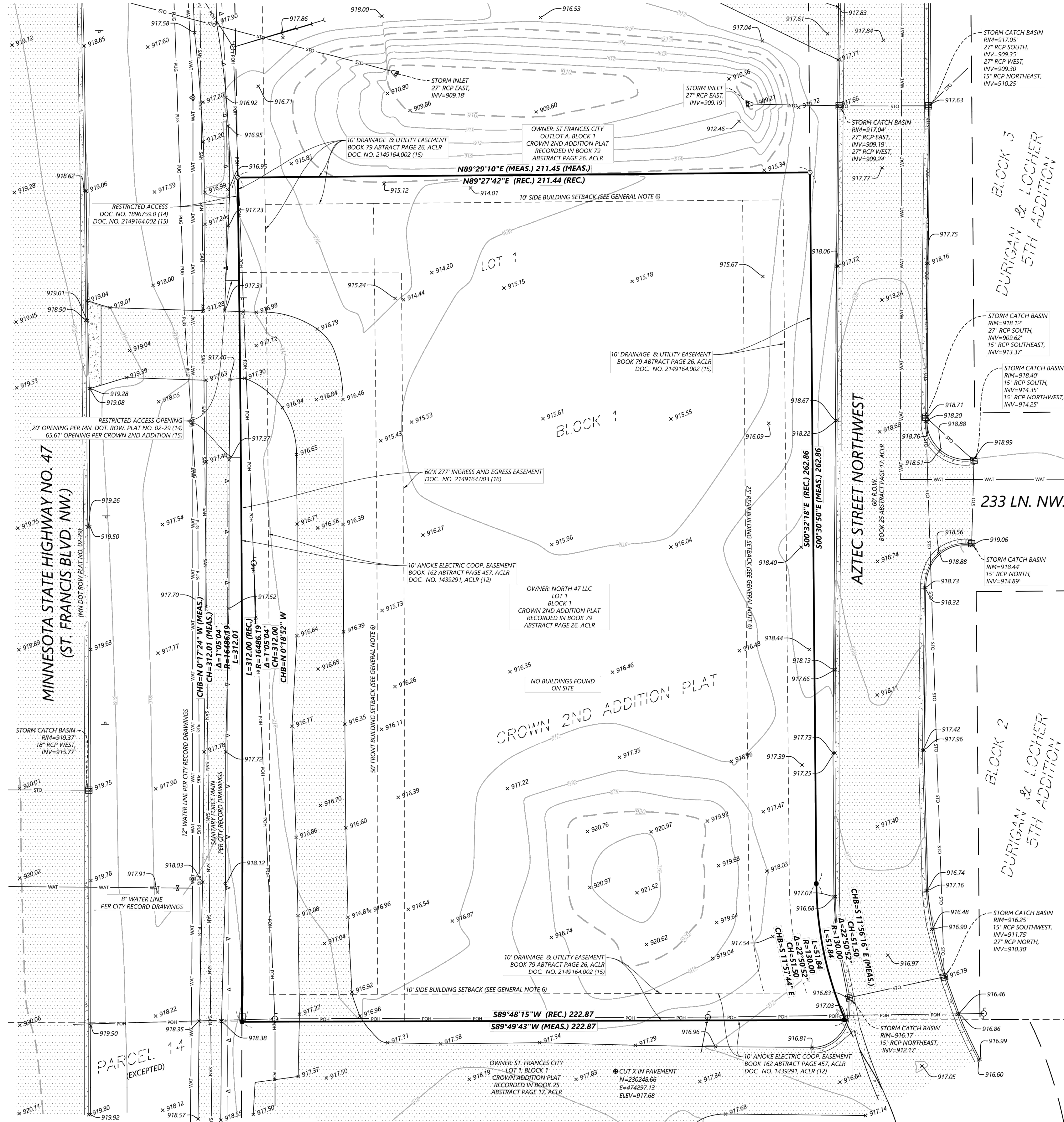
LEGAL DESCRIPTION PER TITLE COMMITMENT

Real property in the City of St. Francis, County of Anoka, State of Minnesota, described as follows:
 Lot 1, Block 1, Crown 2nd Addition, Anoka County, Minnesota, except Parcel 14, Minnesota Department of Transportation Right-of-Way Plat Numbered 02-29

CERTIFICATION

To Autozone Development LLC, and First American Title Insurance Company:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2023 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7a, 7b(1), 7(c), 8, 9, 10, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on 1/30/2023.

Chris Ambourn, P.L.S. Date: 1/30/2023
 MN License No. 43055, Expiration 06/30/2024
 chris.ambourn@westwoodps.com



LEGEND

●	FOUND 1/2" IRON ROD (LICENSE NO. 18420)	⊕	POWER POLE
○	SET 1/2" IRON ROD (43055) UNLESS OTHERWISE NOTED	⊖	GUY ANCHOR
ACLR	ANOKA COUNTY LAND RECORDS	—	SIGN
⊕	BENCHMARK	—	CURB & GUTTER
⊖	ELECTRIC VAULT	—	CONCRETE SURFACE
⊕	STREET LIGHT	—	BITUMINOUS SURFACE
⊕	HYDRANT	—	BOUNDARY LINE
⊕	WATER VALVE	—	RIGHT-OF-WAY LINE
⊕	CATCH BASIN	—	RESTRICTED ACCESS LINE
⊕	STORM SEWER CURB INLET	—	BOUNDARY ADJACENT
RE	RIM ELEVATION	—	EASEMENT LINE
INV	INVERT ELEVATION	—	POH — POWER OVERHEAD
x 918.10	GROUND ELEVATION SHOT	—	PUG — POWER UNDERGROUND
(REC.)	RECORDED BEARING OR DISTANCE	—	SAN — SANITARY SEWER
(MEAS.)	MEASURED BEARING OR DISTANCE	—	WAT — WATER LINE
		—	STO — SANITARY SEWER

TABLE A ITEMS

- Monuments placed at all major corners of the boundary of the property.
- The subject property has not been assigned an address.
- The foregoing property is located within Zone X (Area of Minimal Flood Hazard) according to FEMA FIRM Panel No. 27003C0065E, dated December 26, 2015.
- The subject property contains 66,313 sq. ft. or 1.522 acres.
- Vertical relief is based on NAVD 1988, with one-foot contours shown hereon.
- No buildings were found on site.
- No buildings were found on site.
- No buildings were found on site.
- The surveyor has made a good faith effort to show all substantial, above ground, visible, and permanent features observed during the course of the survey. AT THE TIME OF SURVEY THERE WAS SNOW AND ICE COVERING ALL OR PARTS OF THE SUBJECT PROPERTY, FEATURES OBSCURED BY SNOW OR ICE MAY NOT BE SHOWN.
- No parking spaces were found on site.
- No division or party walls were designated by client, nor were any buildings found on site.
- Names of adjoining owners of platted lands according to current public records are shown hereon.
- On the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions.
- The surveyor is not aware of any proposed changes in street right of way lines, and there was no observable evidence of recent street or sidewalk construction or repairs at the time of survey.
- Any plottable offsite easements provided in the Title Insurance Commitment are shown hereon.
- 7150 AutoZone General Requirements.

SITE CONTACTS

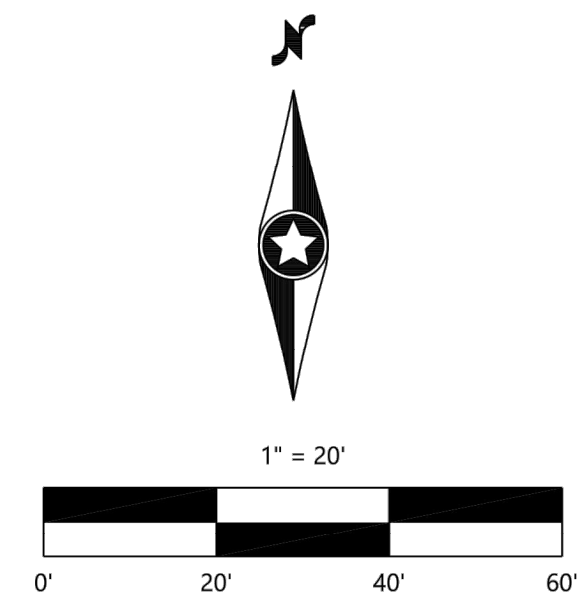
Telephone, Fiber Optic and Cable:

CenturyLink - (877)-778-9140
 Midcontinent Communications - (605)-271-0202
 Zayo Bandwidth - (800)-961-6500

Electric:
 Connexus Energy - (763)-323-4215

Natural Gas:
 Center Point Energy - (800)-778-9140

Sanitary Sewer, Storm Sewer and Water:
 City of St. Francis - (763)-122-5219
 MNDOT - (651)-366-5750



CHECKED:	CA
DRAWN:	AM
FIELD CREW:	JW
FIELD WORK DATE:	1/27/23

PREPARED FOR:

AutoZone
 123 S. Front St.
 Memphis, Tennessee, 38103

EXHIBIT OF:

ALTA/NSPS LAND TITLE SURVEY
AUTOZONE MN5100

LOT 1, BLOCK 1, CROWN 2ND ADDITION,
RECORDED IN BOOK 79 ABSTRACT PAGE 26,
ANOKA COUNTY LAND RECORDS
 CITY OF ST. FRANCIS, ANOKA COUNTY, MINNESOTA

Westwood

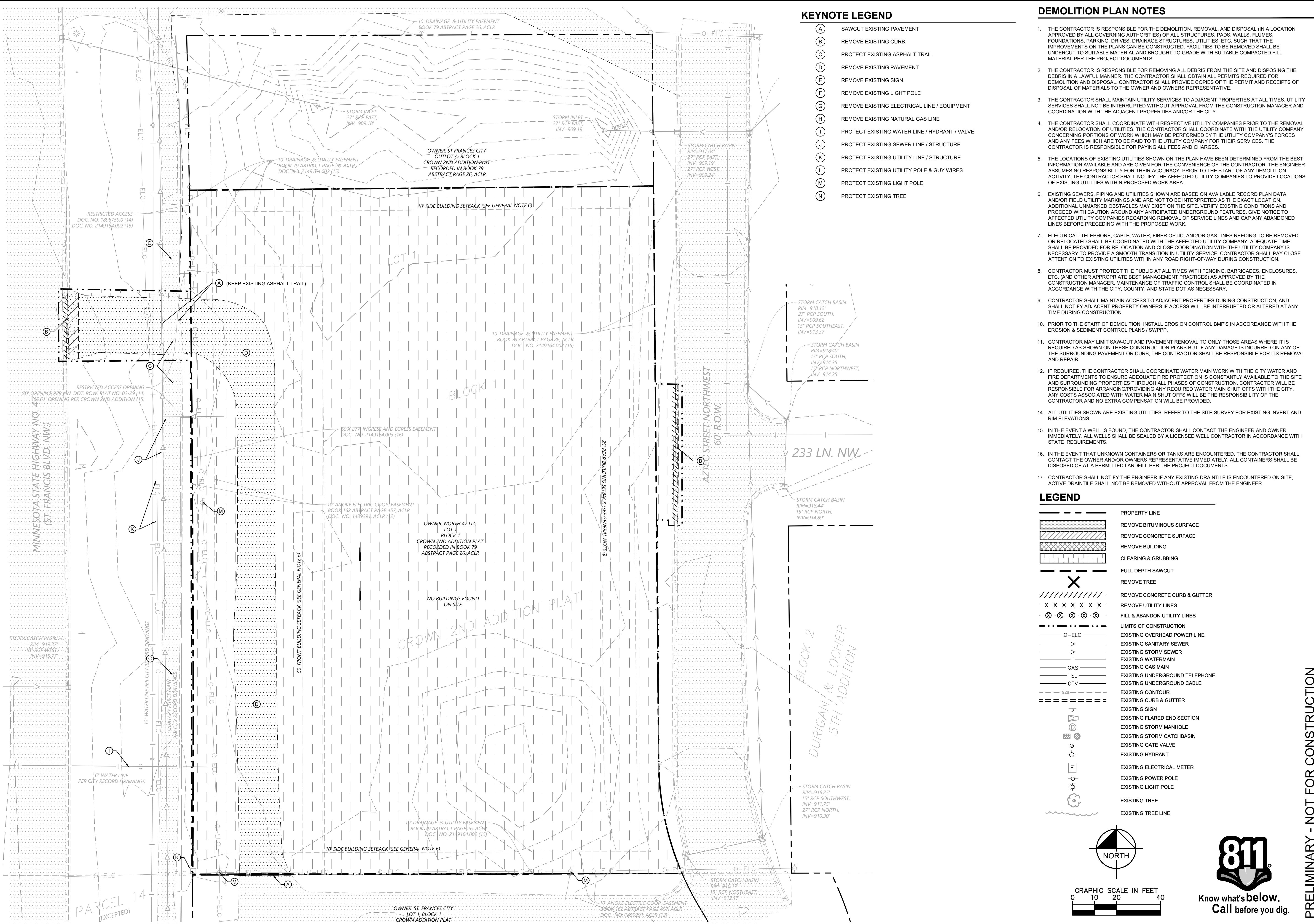
Phone (320) 253-9495 3701 12th Street North, Suite 206
 Fax (320) 358-2001 St. Cloud, MN 56303
 Toll Free (800) 270-9495 westwoodps.com
 Westwood Professional Services, Inc.

SHEET NUMBER:

1 OF 1

DATE: 1/30/2023

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KEYNOTE LEGEND

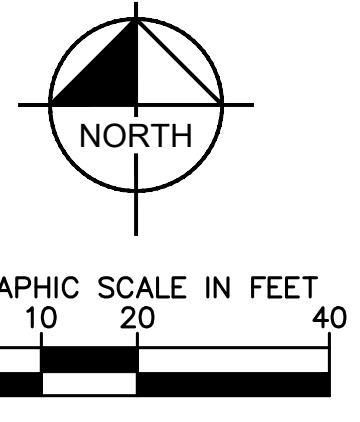
- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING CURB
- (C) PROTECT EXISTING ASPHALT TRAIL
- (D) REMOVE EXISTING PAVEMENT
- (E) REMOVE EXISTING SIGN
- (F) REMOVE EXISTING LIGHT POLE
- (G) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT
- (H) REMOVE EXISTING NATURAL GAS LINE
- (I) PROTECT EXISTING WATER LINE / HYDRANT / VALVE
- (J) PROTECT EXISTING SEWER LINE / STRUCTURE
- (K) PROTECT EXISTING UTILITY LINE / STRUCTURE
- (L) PROTECT EXISTING UTILITY POLE & GUY WIRES
- (M) PROTECT EXISTING LIGHT POLE
- (N) PROTECT EXISTING TREE

DEMOLITION PLAN NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVEWAYS, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO LIABILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
6. EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEDING WITH THE PROPOSED WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. IF REQUIRED, THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES. REFER TO THE SITE SURVEY FOR EXISTING INVERT AND RIM ELEVATIONS.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. ACTIVE DRAIN TILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

LEGEND

- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING COURTYARD
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING ELECTRICAL METER
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE



PRELIMINARY - NOT FOR CONSTRUCTION

ST. FRANCIS
AUTOZONE
PREPARED FOR
AUTOZONE

SITE DEMOLITION PLAN

KHA PROJECT
160743023.1.100
DATE
07/07/2023
SCALE
AS SHOWN
DESIGNED BY
RBW
DRAWN BY
RBW
CHECKED BY
ALC

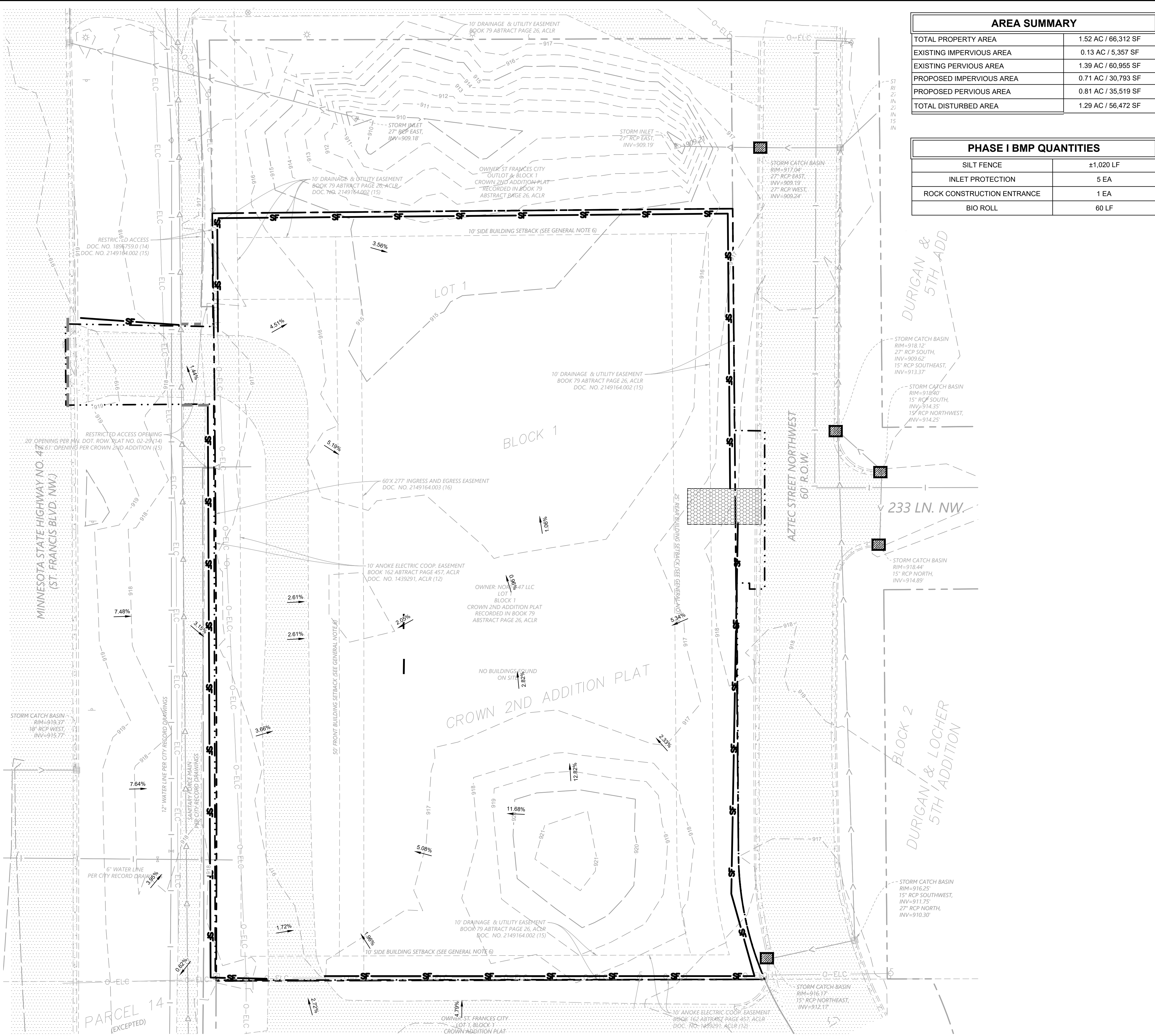
THIS PROJECT WAS DESIGNED BY AN ENGINEER OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Alan L. Catchpool
ALAN L. CATCHPOOL
MIN. LIC. NO. 47989

Kimley»Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-4187
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

SHEET NUMBER
C200

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AREA SUMMARY	
TOTAL PROPERTY AREA	1.52 AC / 66,312 SF
EXISTING IMPERVIOUS AREA	0.13 AC / 5,357 SF
EXISTING PERVIOUS AREA	1.39 AC / 60,955 SF
PROPOSED IMPERVIOUS AREA	0.71 AC / 30,793 SF
PROPOSED PERVIOUS AREA	0.81 AC / 35,519 SF
TOTAL DISTURBED AREA	1.29 AC / 56,472 SF

PHASE I BMP QUANTITIES	
SILT FENCE	±1,020 LF
INLET PROTECTION	5 EA
ROCK CONSTRUCTION ENTRANCE	1 EA
BIO ROLL	60 LF

LEGEND

- ROCK ENTRANCE
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- BIOROLL

- EROSION CONTROL PLAN NOTES**
- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
 - ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
 - SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
 - TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
 - THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
 - CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
 - ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
 - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE PUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 - EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING, LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

- PHASE 1 SEQUENCE OF CONSTRUCTION**
- INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (IF REQUIRED).
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - CONSTRUCT AND STABILIZE DIVERSIONS AND SEDIMENT BASINS.
 - CLEAR AND GRUB THE SITE.
 - BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

811
Know what's below.
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

ST FRANCIS AUTOZONE PREPARED FOR AUTOZONE

EROSION AND SEDIMENT CONTROL PLAN - PHASE 1

ST. FRANCIS MN

KIMLEY-HORN

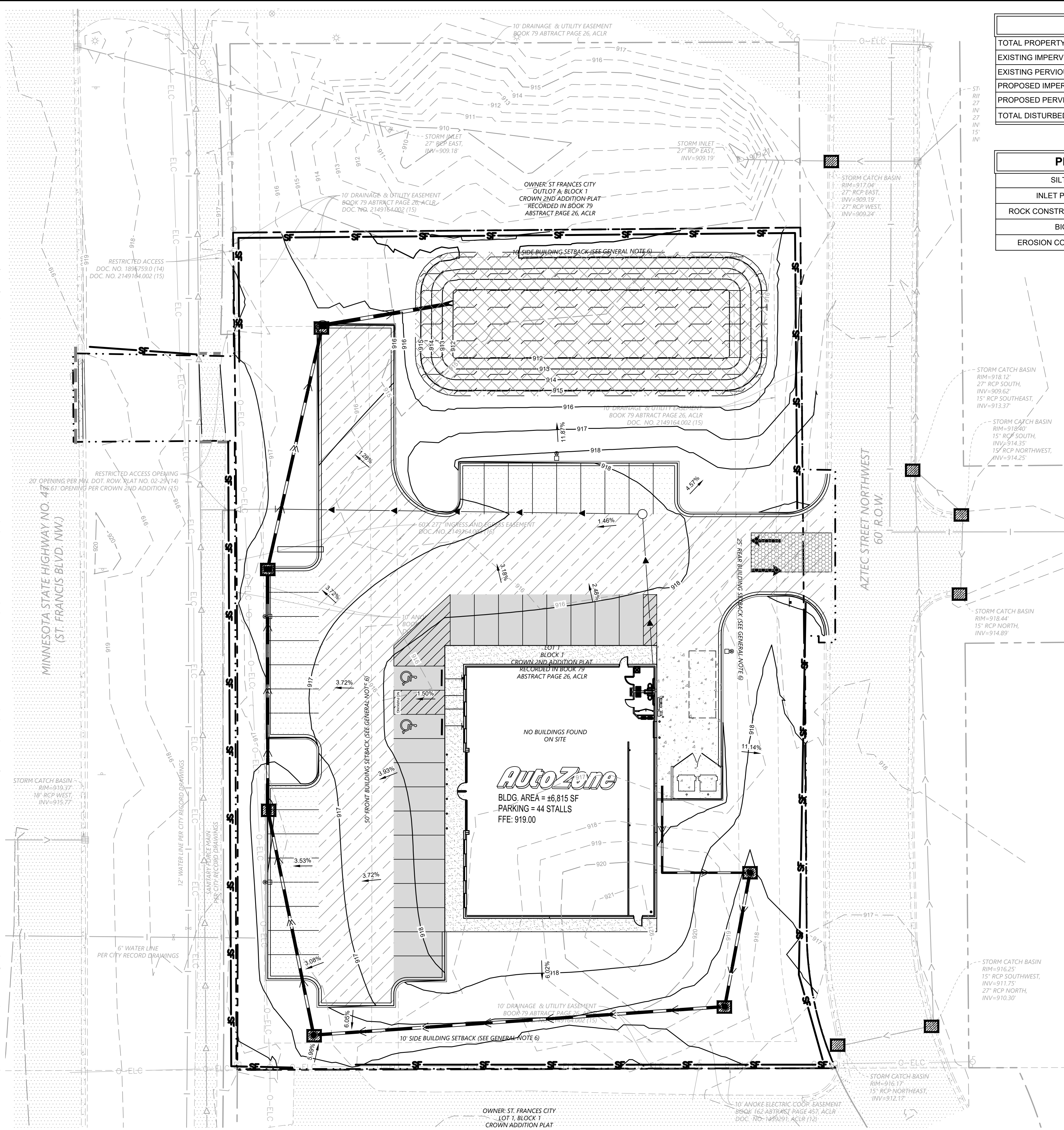
2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-4197
WWW.KIMLEY-HORN.COM

DESIGNED BY RBW
DRAWN BY RBW
CHECKED BY ALC

DATE: 07/07/2023
LIC. NO. 47989

SHEET NUMBER
C300

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PROPOSED PERVIOUS AREA	0.81 AC / 35,519 SF
TOTAL DISTURBED AREA	1.29 AC / 56,472 SF

PHASE II BMP QUANTITIES	
SILT FENCE	±1,020 LF
INLET PROTECTION	11 EA
ROCK CONSTRUCTION ENTRANCE	1 EA
BIO ROLL	60 LF
EROSION CONTROL BLANKET	± 6,800 SF

LEGEND

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- BIOROLL

- EROSION CONTROL PLAN NOTES**
- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
 - ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
 - SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
 - TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
 - THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
 - CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
 - ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
 - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE, DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 - EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

- PHASE 2 SEQUENCE OF CONSTRUCTION**
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 - CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING UNDERGROUND STORMWATER MANAGEMENT SYSTEM.
 - INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES AS EACH STRUCTURE IS CONSTRUCTED.
 - COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.
 - CONSTRUCT PAVEMENTS, CURBS & GUTTERS, AND SIDEWALKS.
 - AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
 - COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
 - WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL.
- NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

811
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EROSION AND SEDIMENT CONTROL PLAN - PHASE 2

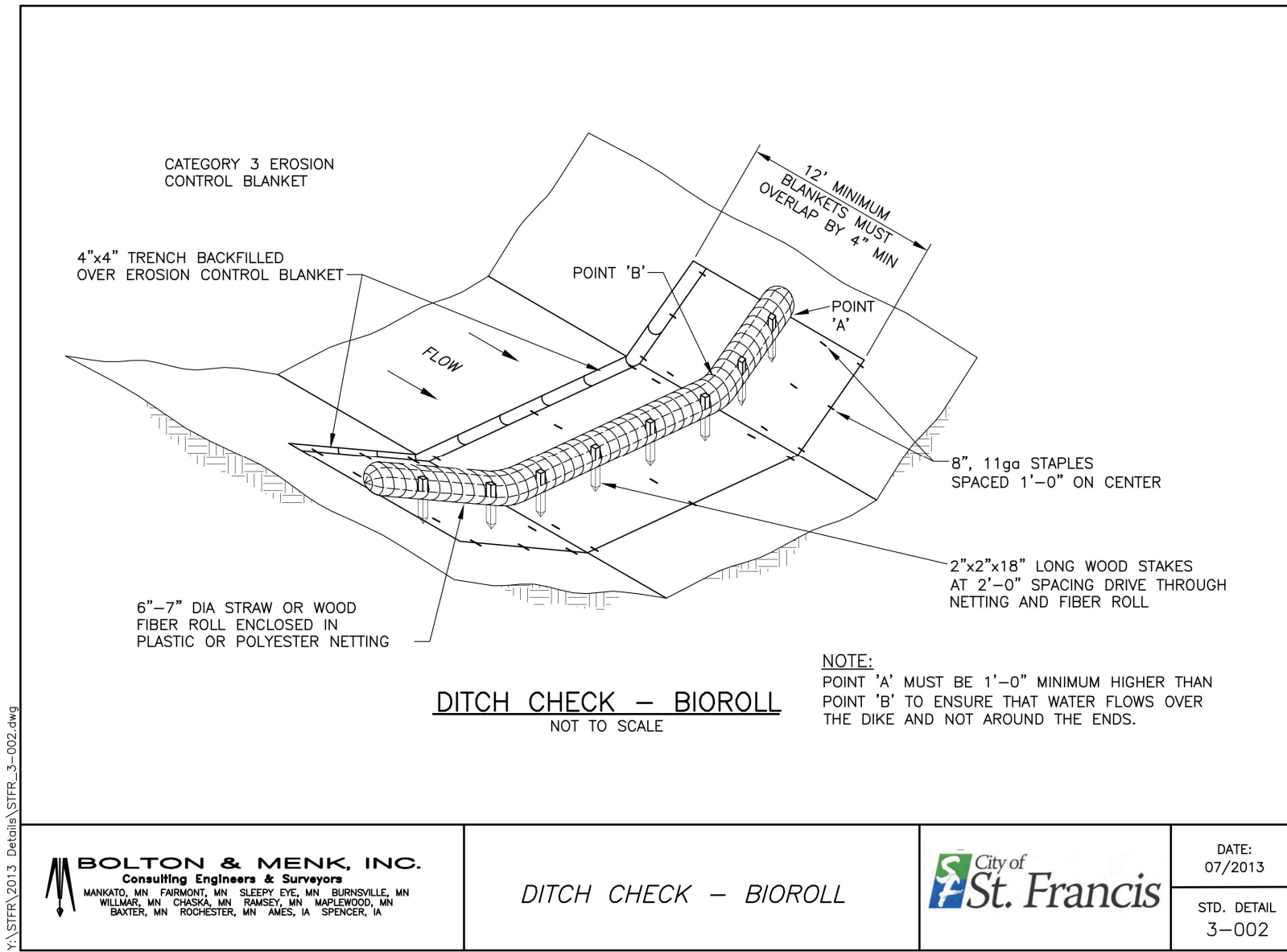
ST. FRANCIS MN

SHEET NUMBER
C301

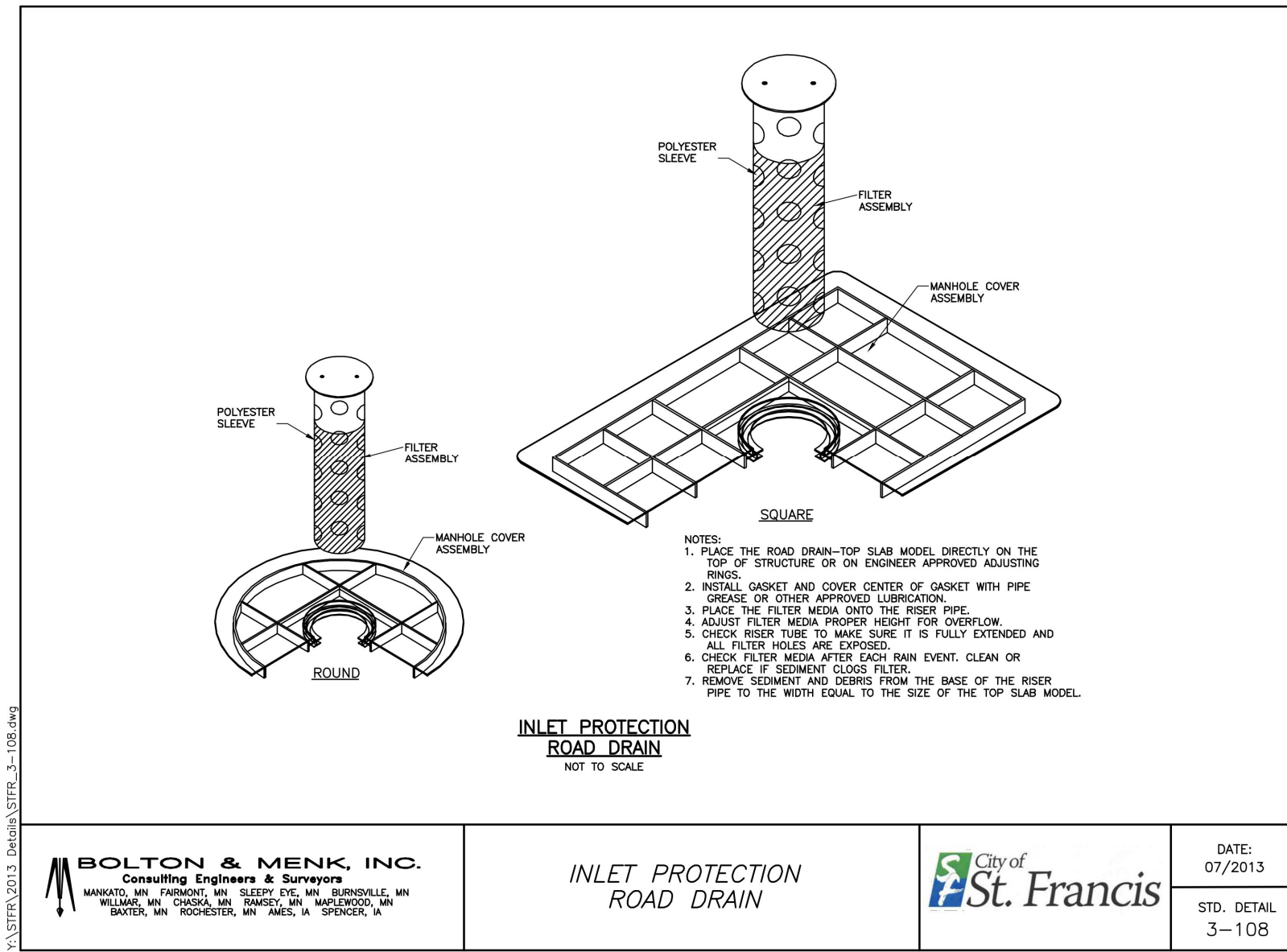
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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-4197
WWW.KIMLEY-HORN.COM

ALAN L. CATCHPOOL
DATE: 07/07/2023 LIC. NO. 47969

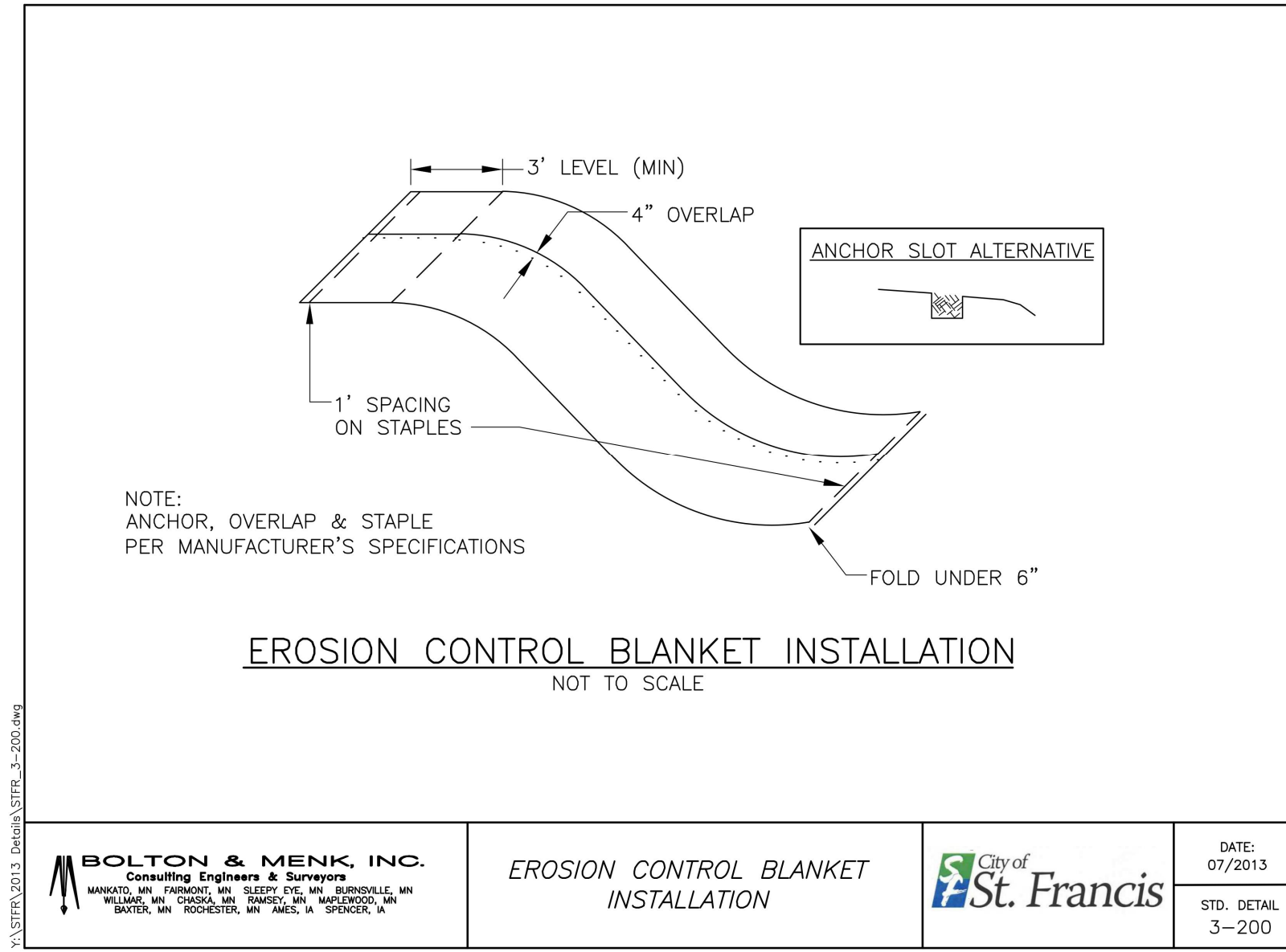
NO.	REVISIONS	DATE	BY



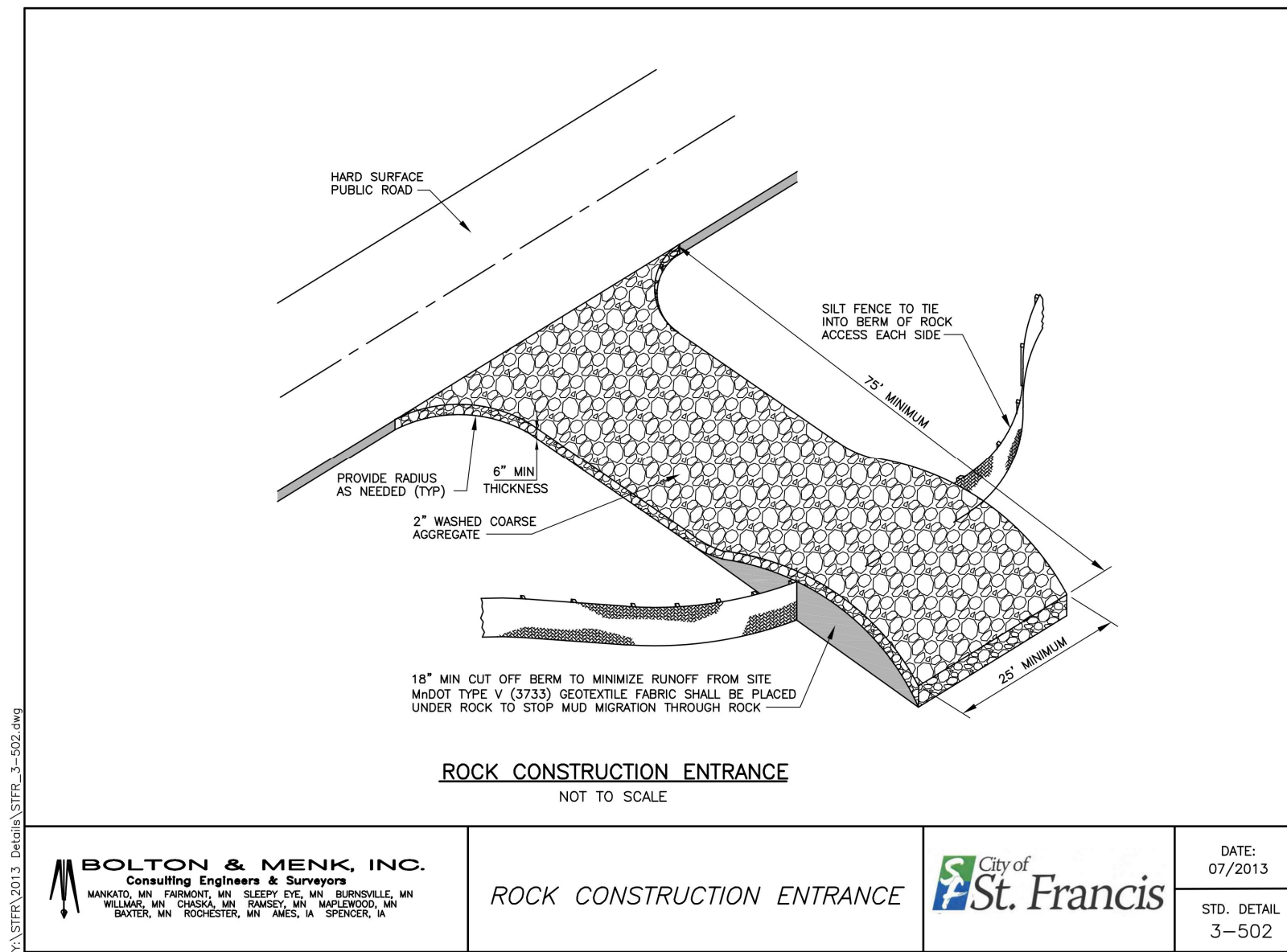
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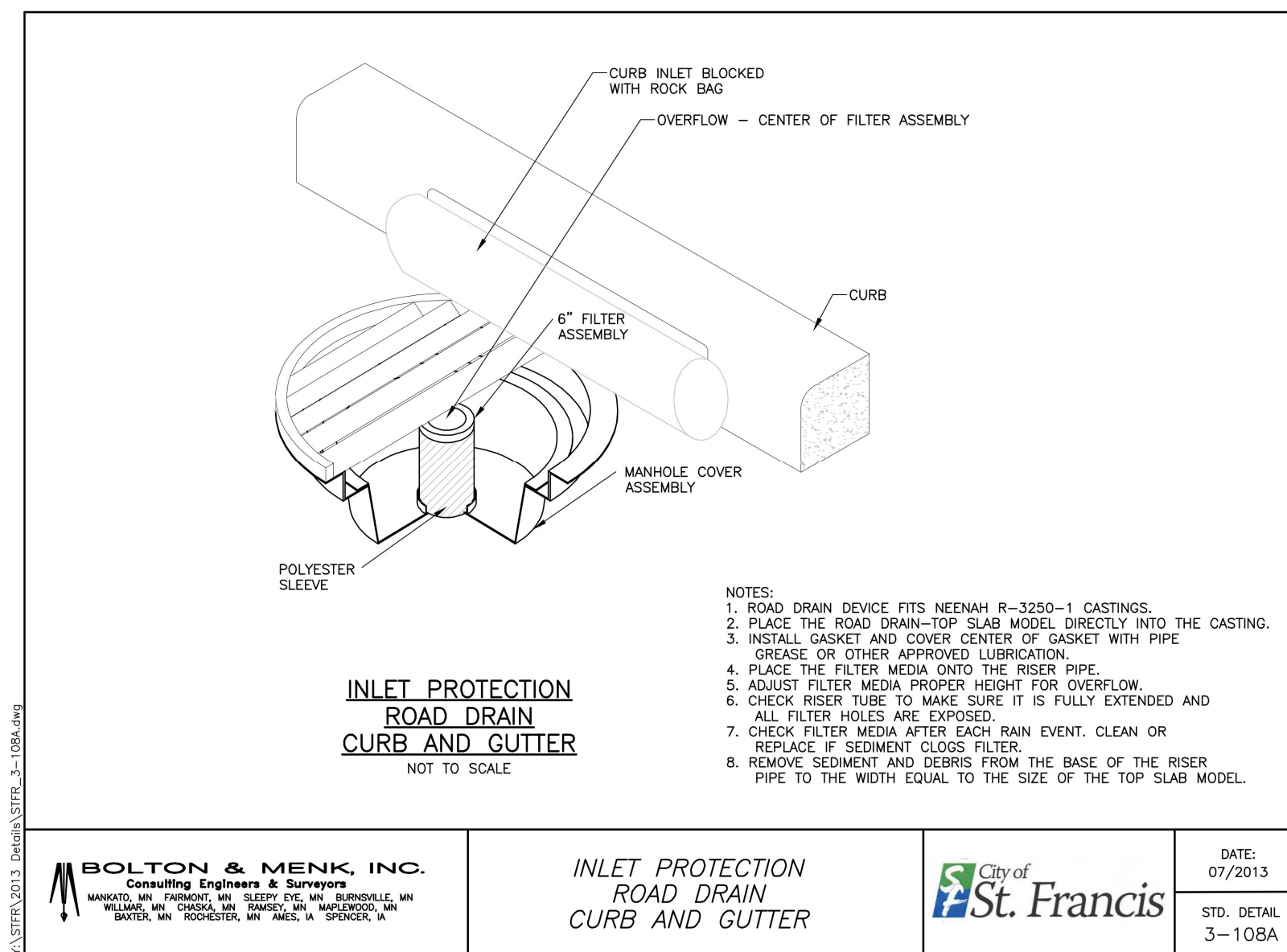
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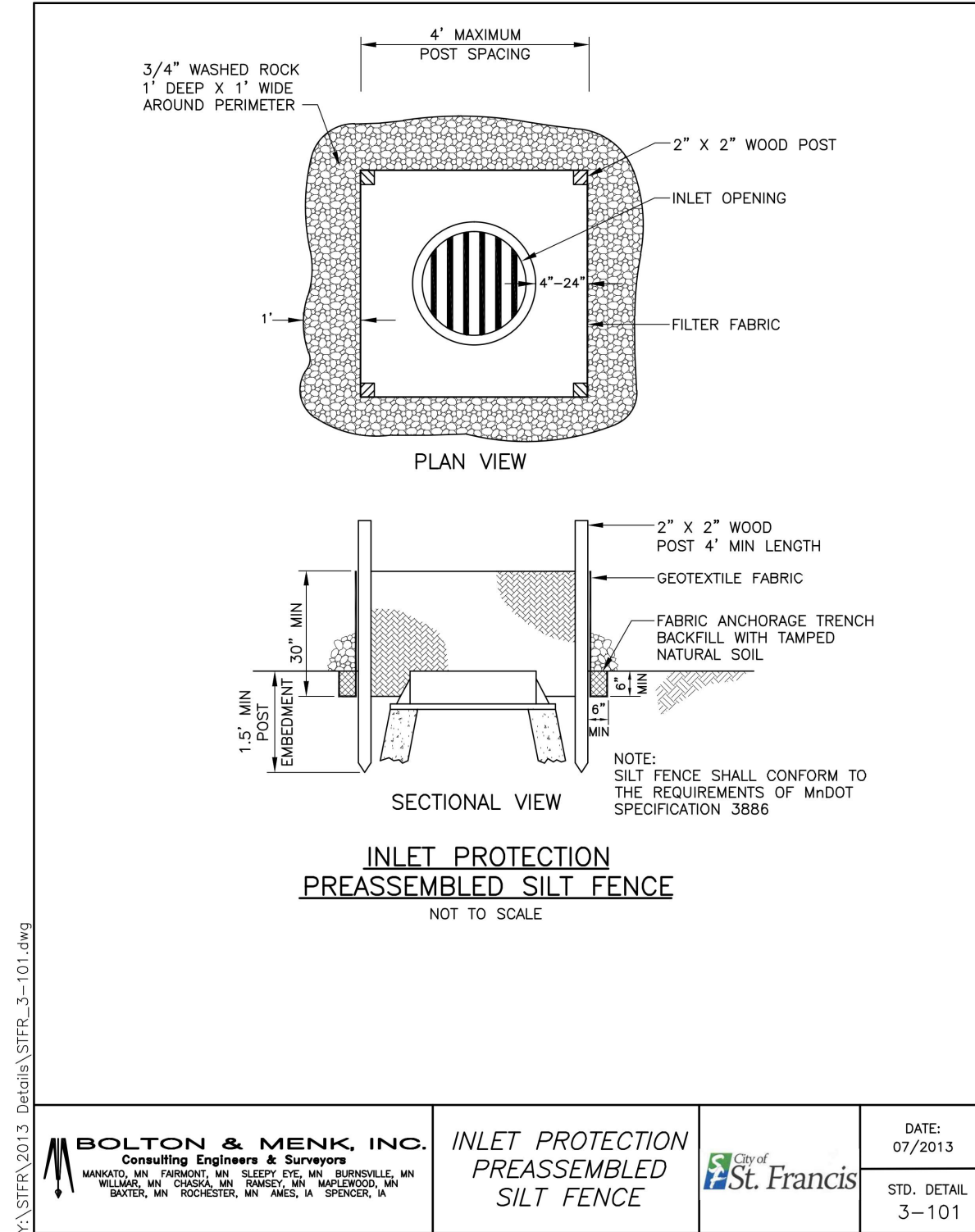
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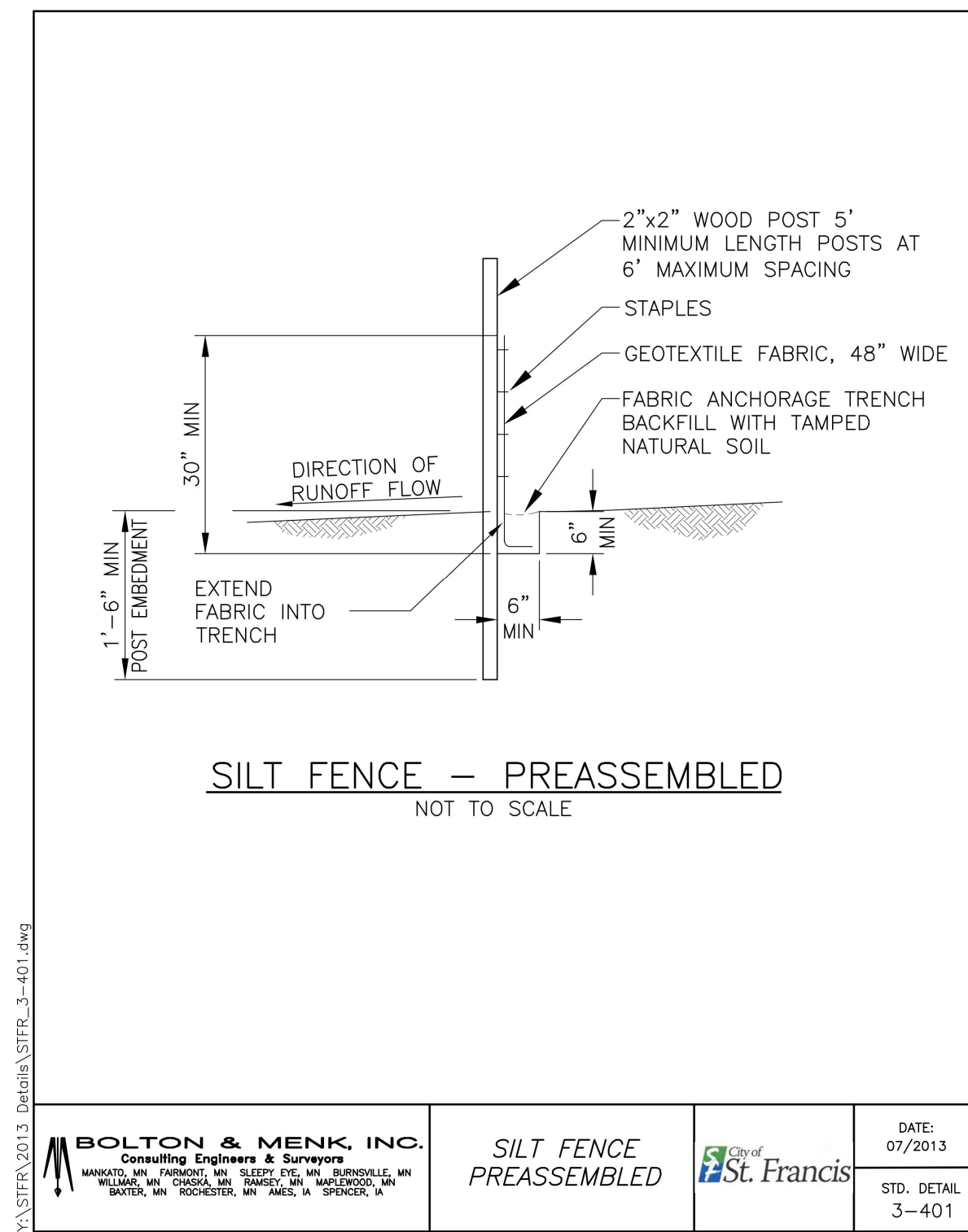
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	INLET PROTECTION ROAD DRAIN CURB AND GUTTER		DATE:	07/2013
			STD. DETAIL:	3-108A



	INLET PROTECTION PREASSEMBLED SILT FENCE		DATE:	07/2013
			STD. DETAIL:	3-101



	SILT FENCE PREASSEMBLED		DATE:	07/2013
			STD. DETAIL:	3-401

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EROSION AND SEDIMENT CONTROL DETAILS

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ALAN L. CATCHPOOL
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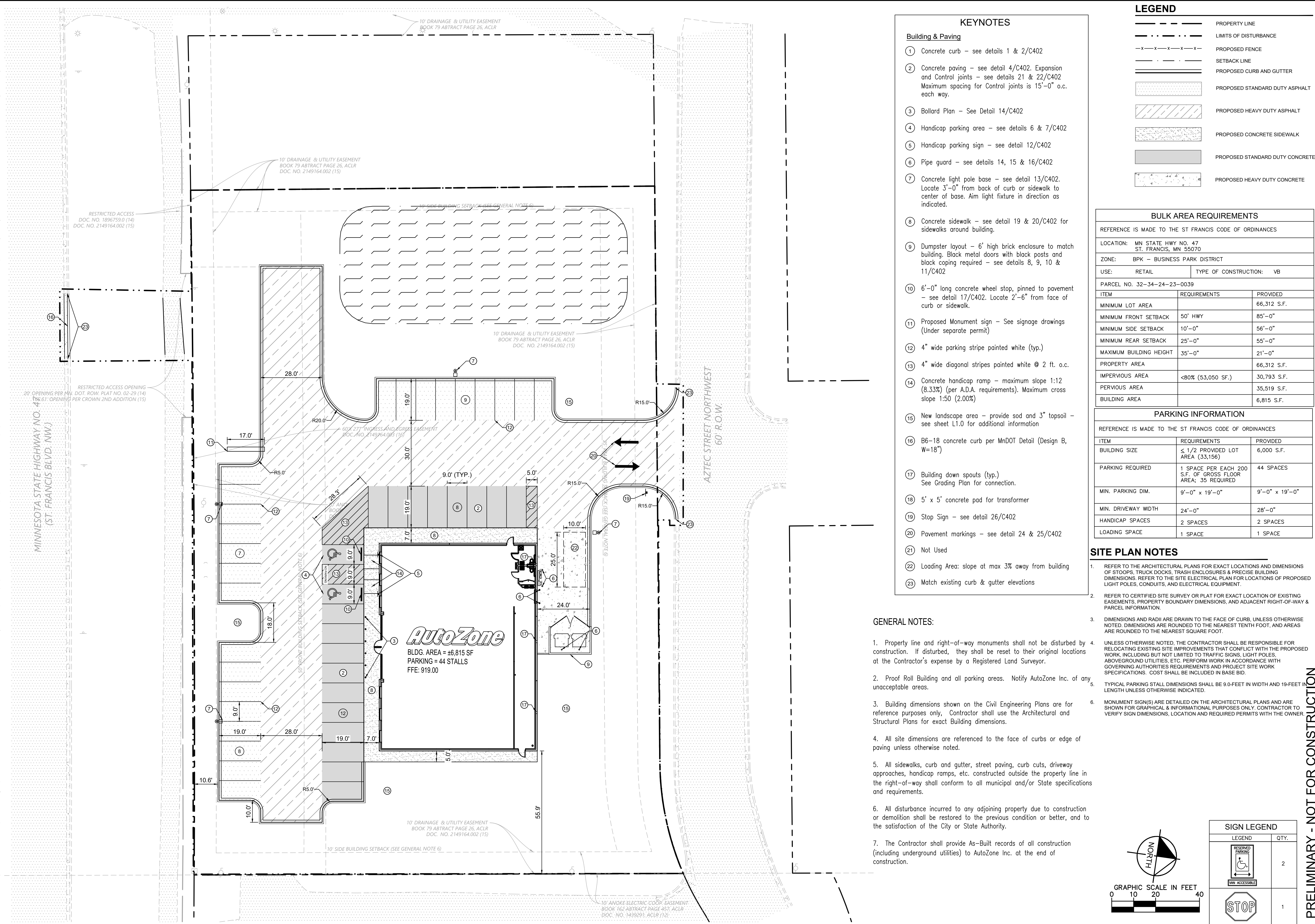
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SHEET NUMBER C302

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KEYNOTES

Building & Paving

- ① Concrete curb - see details 1 & 2/C402
- ② Concrete paving - see detail 4/C402. Expansion and Control joints - see details 21 & 22/C402. Maximum spacing for Control joints is 15'-0" o.c. each way.
- ③ Bollard Plan - See Detail 14/C402
- ④ Handicap parking area - see details 6 & 7/C402
- ⑤ Handicap parking sign - see detail 12/C402
- ⑥ Pipe guard - see details 14, 15 & 16/C402
- ⑦ Concrete light pole base - see detail 13/C402. Locate 3'-0" from back of curb or sidewalk to center of base. Aim light fixture in direction as indicated.
- ⑧ Concrete sidewalk - see detail 19 & 20/C402 for sidewalks around building.
- ⑨ Dumpster layout - 6' high brick enclosure to match building. Black metal doors with black posts and black coping required - see details 8, 9, 10 & 11/C402
- ⑩ 6'-0" long concrete wheel stop, pinned to pavement - see detail 17/C402. Locate 2'-6" from face of curb or sidewalk.
- ⑪ Proposed Monument sign - See signage drawings (Under separate permit)
- ⑫ 4" wide parking stripe painted white (typ.)
- ⑬ 4" wide diagonal stripes painted white @ 2 ft. o.c.
- ⑭ Concrete handicap ramp - maximum slope 1:12 (8.33%) (per A.D.A. requirements). Maximum cross slope 1:50 (2.00%)
- ⑮ New landscape area - provide sod and 3" topsoil - see sheet L1.0 for additional information
- ⑯ B6-18 concrete curb per MnDOT Detail (Design B, W=18")
- ⑰ Building down spouts (typ.) See Grading Plan for connection.
- ⑱ 5' x 5' concrete pad for transformer
- ⑲ Stop Sign - see detail 26/C402
- ⑳ Pavement markings - see detail 24 & 25/C402
- ㉑ Not Used
- ㉒ Loading Area: slope at max 3% away from building
- ㉓ Match existing curb & gutter elevations

GENERAL NOTES:

- 1. Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- 2. Proof Roll Building and all parking areas. Notify AutoZone Inc. of any unacceptable areas.
- 3. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
- 4. All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- 5. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
- 6. All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.
- 7. The Contractor shall provide As-Built records of all construction (including underground utilities) to AutoZone Inc. at the end of construction.

LEGEND

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STANDARD DUTY CONCRETE
	PROPOSED HEAVY DUTY CONCRETE

BULK AREA REQUIREMENTS

REFERENCE IS MADE TO THE ST FRANCIS CODE OF ORDINANCES

LOCATION: MN STATE HWY NO. 47
ST. FRANCIS, MN 55070

ZONE: BPK - BUSINESS PARK DISTRICT

USE: RETAIL TYPE OF CONSTRUCTION: VB

PARCEL NO. 32-34-24-23-0039

ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	50' HWY	66,312 S.F.
MINIMUM FRONT SETBACK	50' HWY	85'-0"
MINIMUM SIDE SETBACK	10'-0"	56'-0"
MINIMUM REAR SETBACK	25'-0"	55'-0"
MAXIMUM BUILDING HEIGHT	35'-0"	21'-0"
PROPERTY AREA		66,312 S.F.
IMPERVIOUS AREA	<80% (53,050 SF.)	30,793 S.F.
PERVIOUS AREA		35,519 S.F.
BUILDING AREA		6,815 S.F.

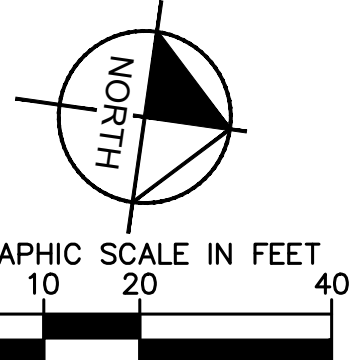
PARKING INFORMATION

REFERENCE IS MADE TO THE ST FRANCIS CODE OF ORDINANCES

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	≤ 1/2 PROVIDED LOT AREA (33,156)	6,000 S.F.
PARKING REQUIRED	1 SPACE PER EACH 200 S.F. OF GROSS FLOOR AREA; 35 REQUIRED	44 SPACES
MIN. PARKING DIM.	9'-0" x 19'-0"	9'-0" x 19'-0"
MIN. DRIVEWAY WIDTH	24'-0"	28'-0"
HANDICAP SPACES	2 SPACES	2 SPACES
LOADING SPACE	1 SPACE	1 SPACE

SITE PLAN NOTES

- 1. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
- 2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
- 3. DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- 4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
- 5. TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0-FEET IN WIDTH AND 19-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
- 6. MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.



SIGN LEGEND

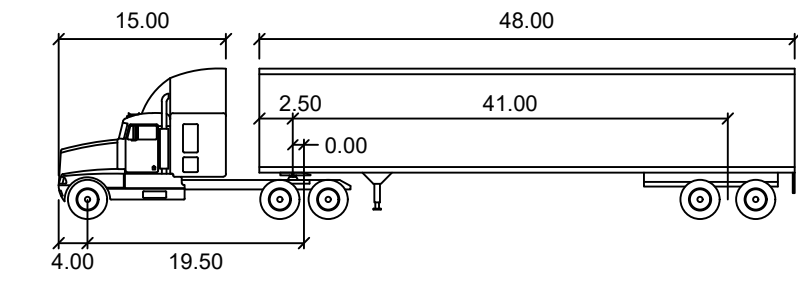
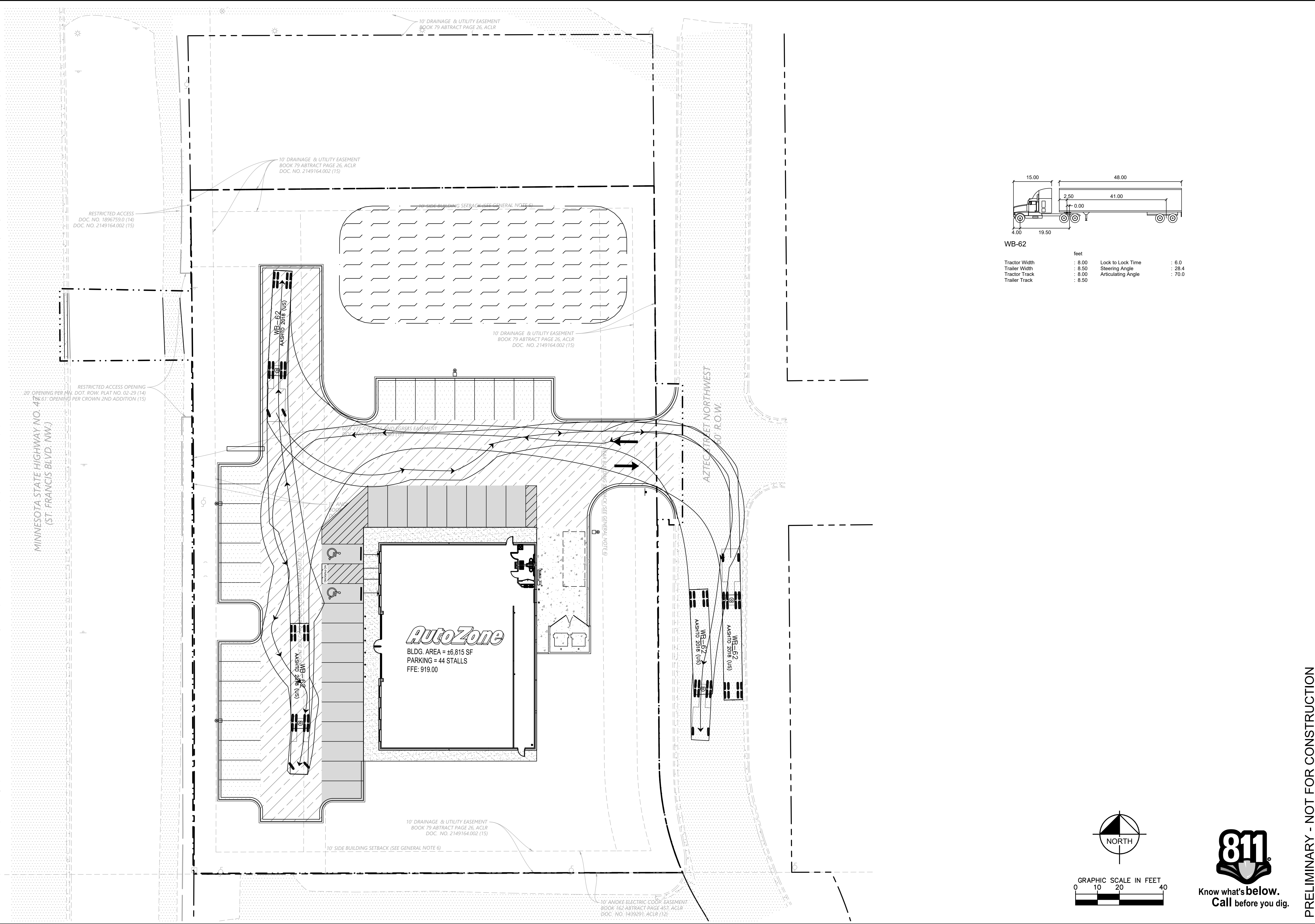
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	2
	1

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ST FRANCIS AUTOZONE PREPARED FOR AUTOZONE
SITE DIMENSION PLAN
ST. FRANCIS MN
 SHEET NUMBER **C400**

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WB-62

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.4
Articulating Angle	: 70.0

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ST FRANCIS AUTOZONE
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TRUCK TURNING MOVEMENT

ST. FRANCIS MN

SHEET NUMBER
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DESIGNED BY: RBW
DRAWN BY: RBW
CHECKED BY: ALC

DATE: 07/07/2023
LIC. NO.: 47969

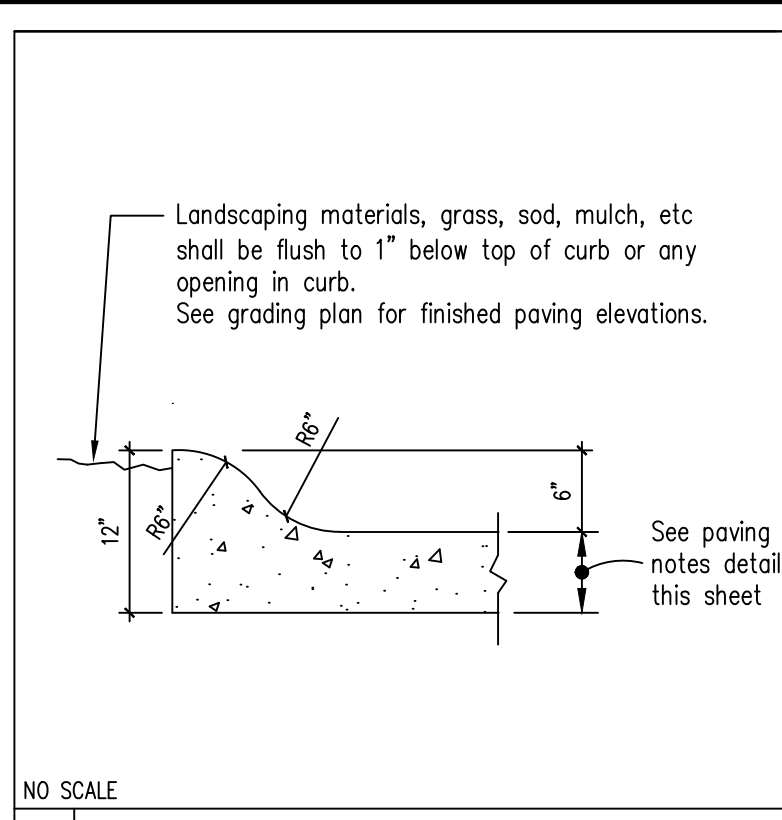
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MIN. LIC. NO. 47969

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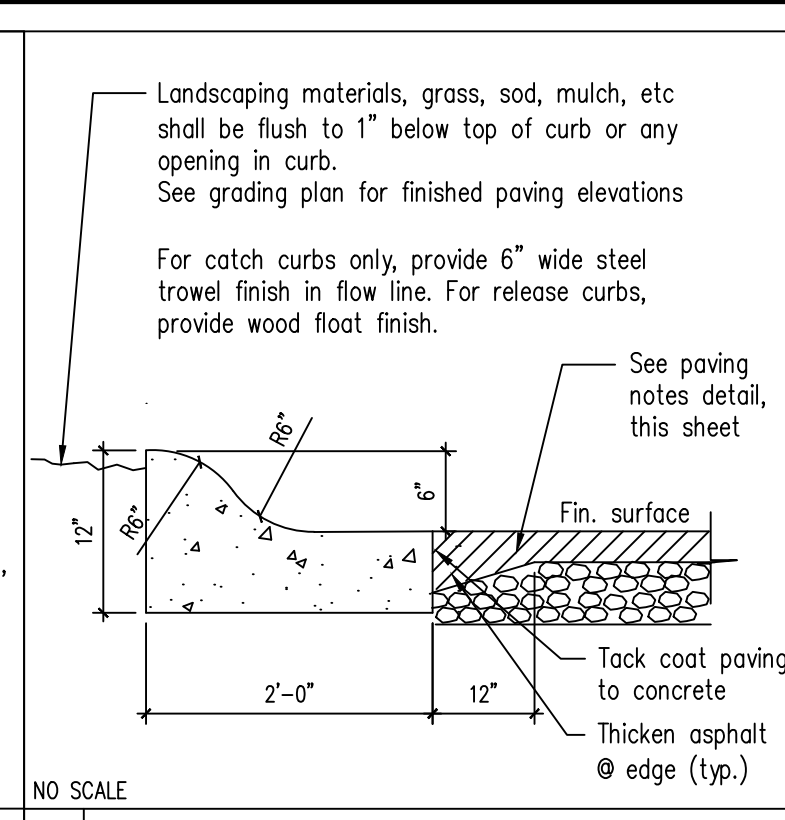
Alan Catchpool

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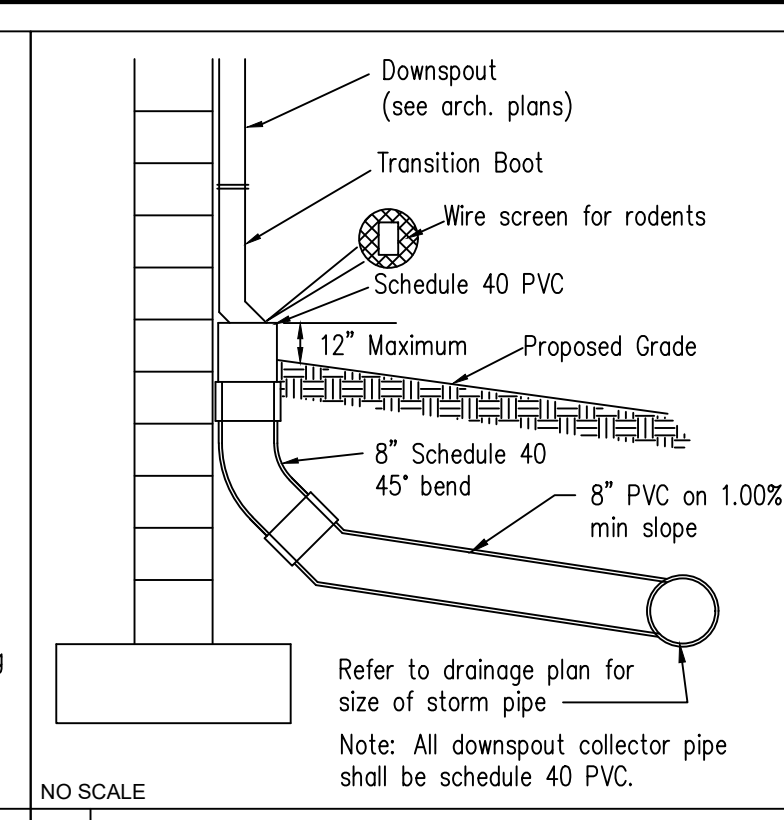
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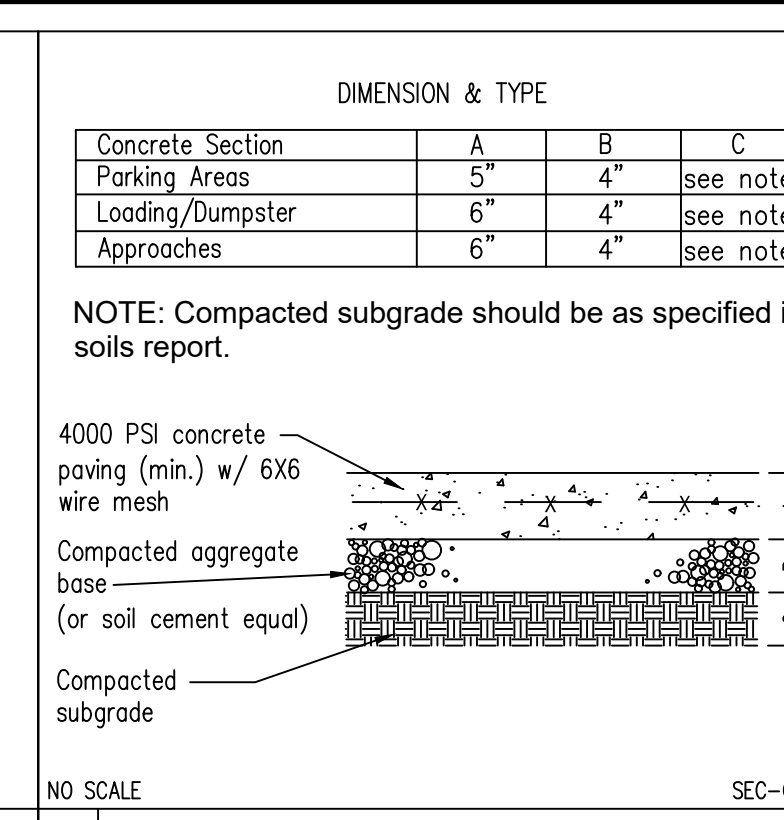
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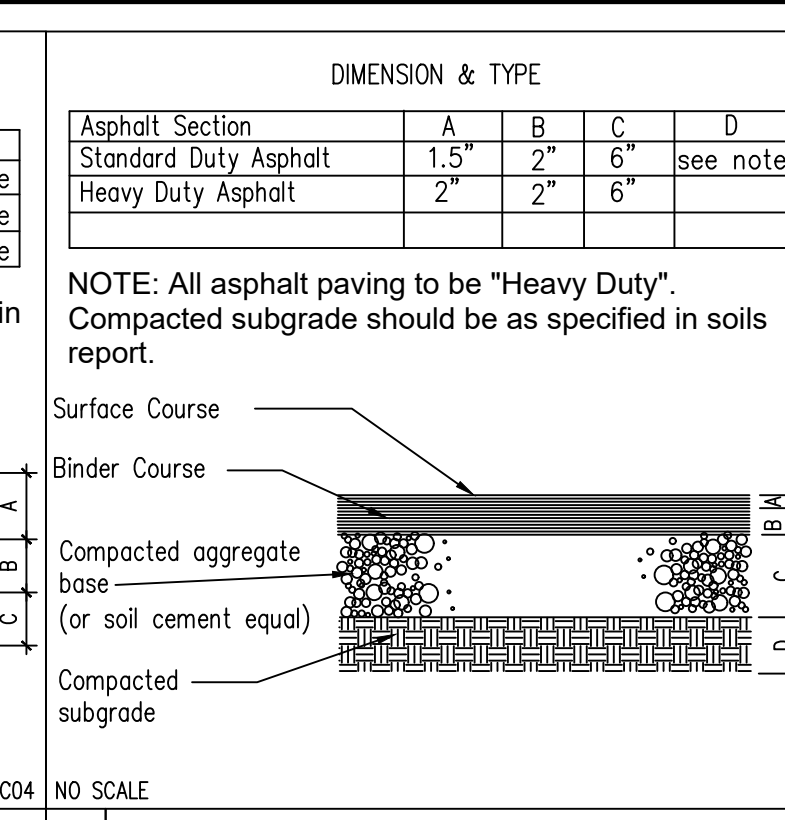
2 ROLL-OVER CURB at ASPHALT PAVING



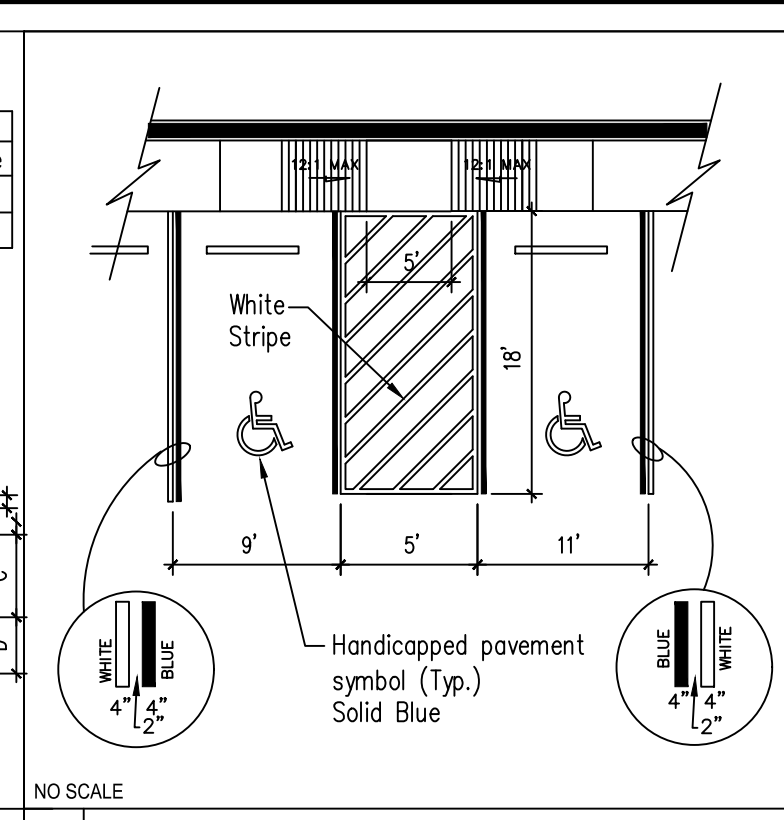
3 DOWNSPOUT DETAIL



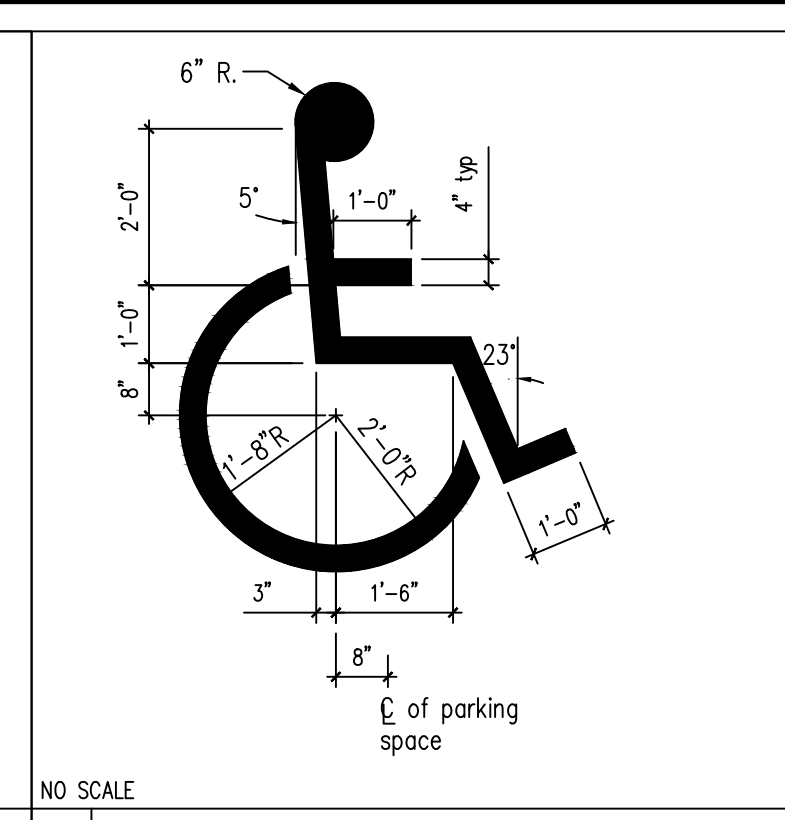
4 CONCRETE PAVING SECTION



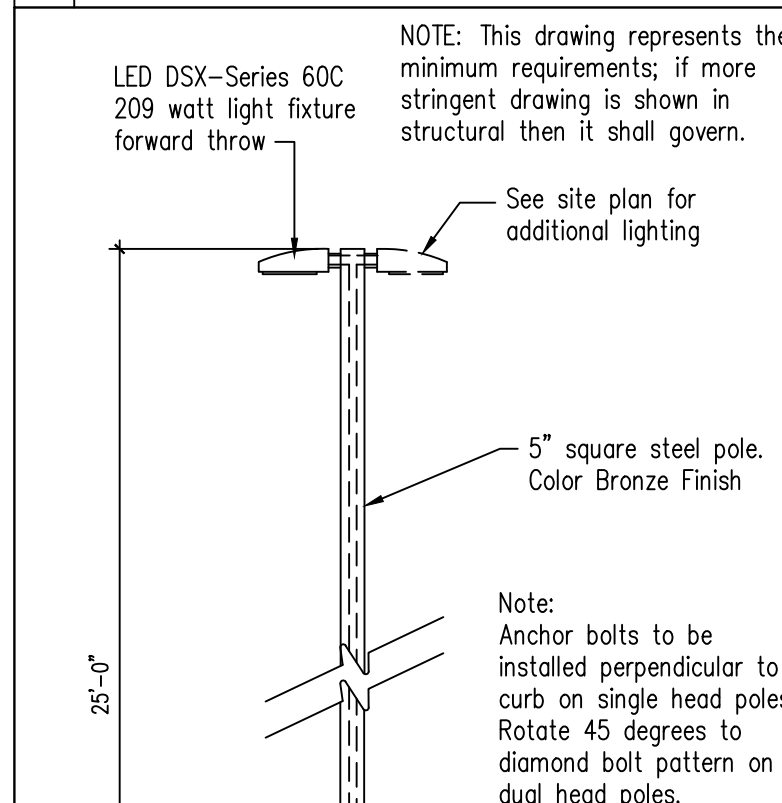
5 ASPHALT PAVING SECTION



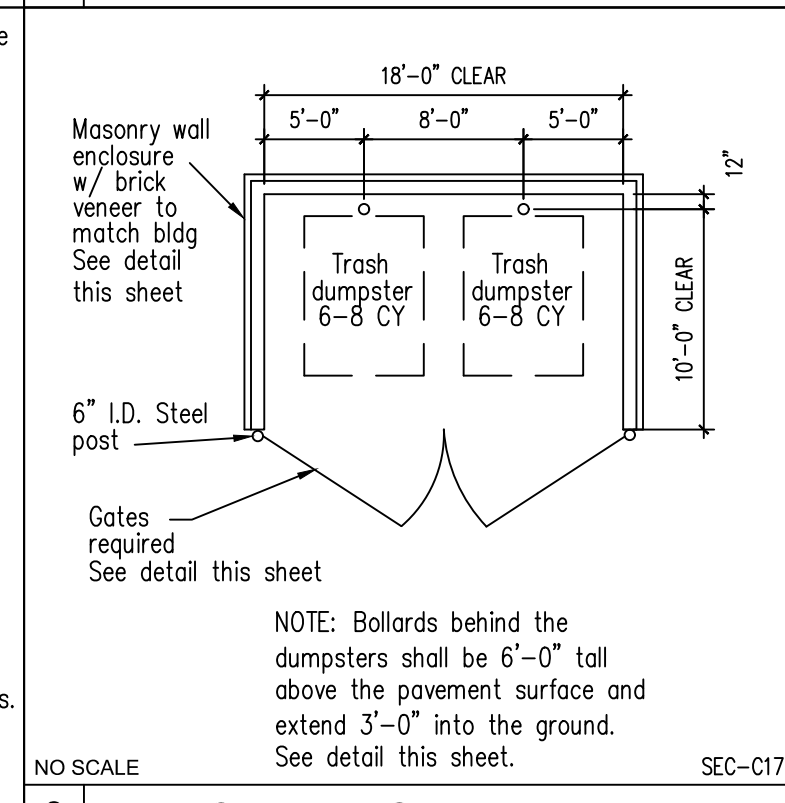
6 HANDICAP PARKING DETAIL



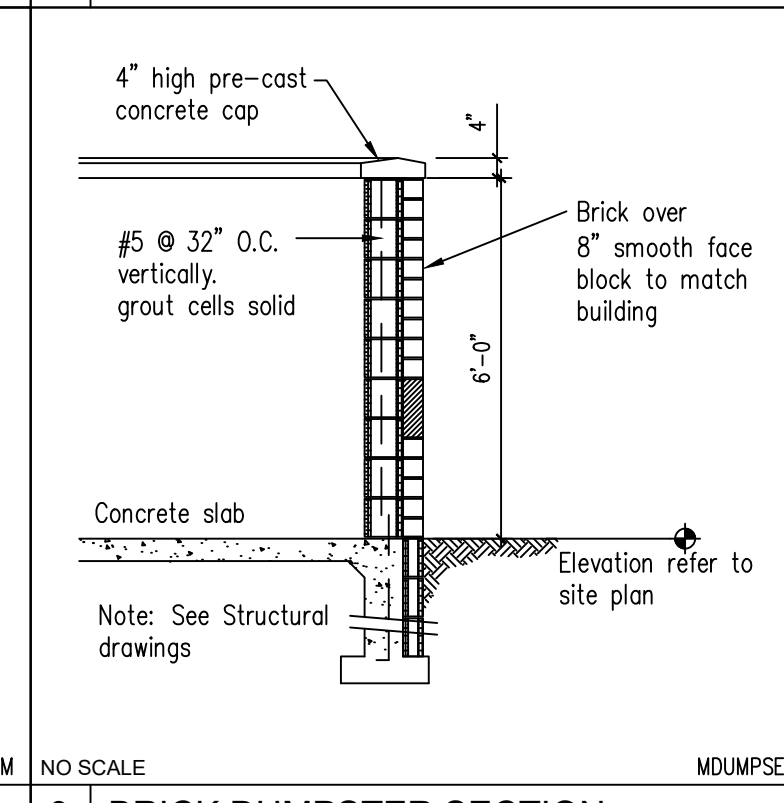
7 INT'L BARRIER FREE SYMBOL



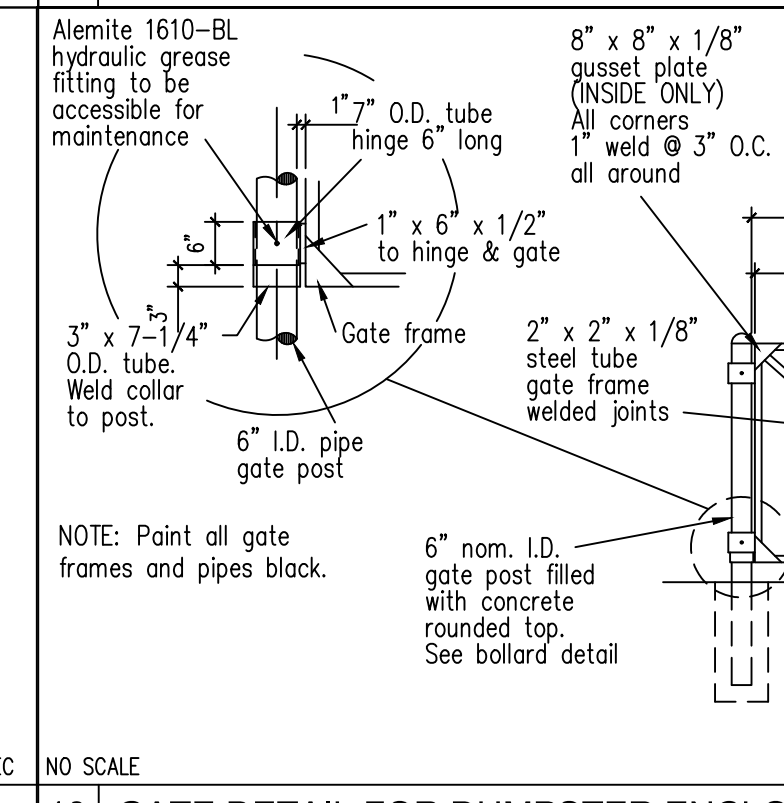
8 DUMPSTER LAYOUT



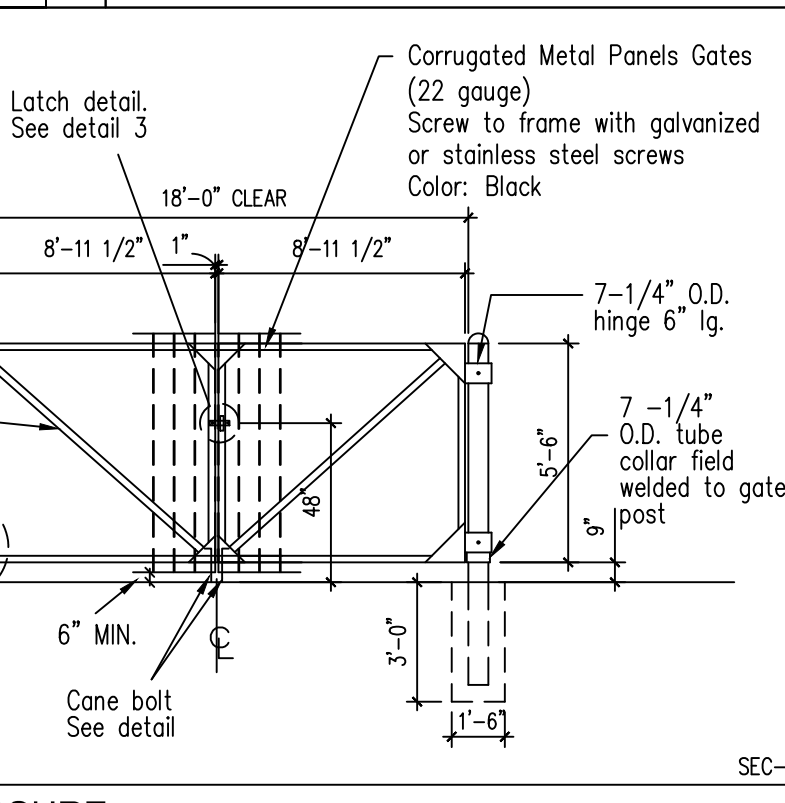
9 BRICK DUMPSTER SECTION



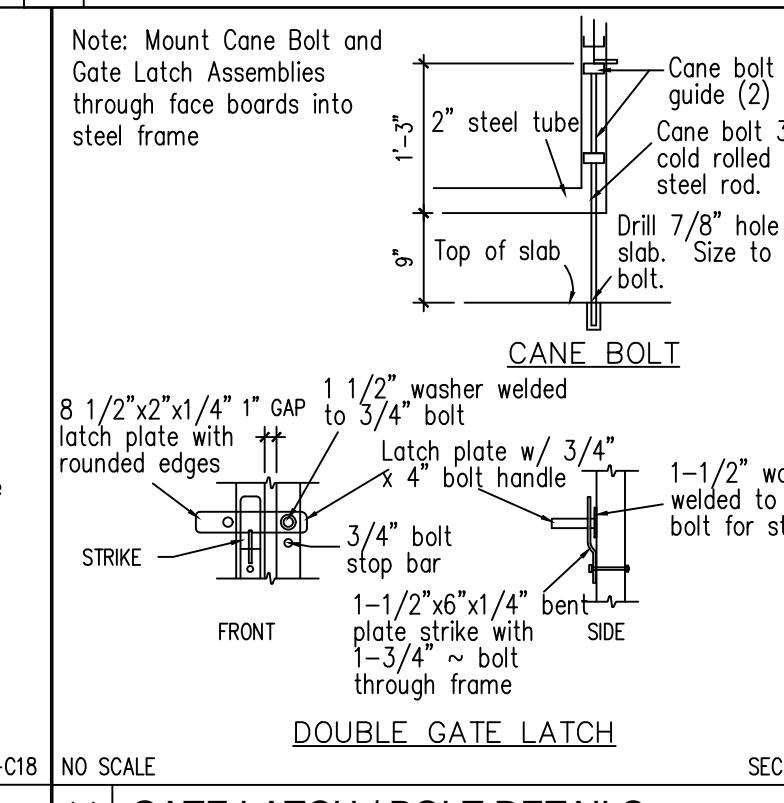
10 GATE DETAIL FOR DUMPSTER ENCLOSURE



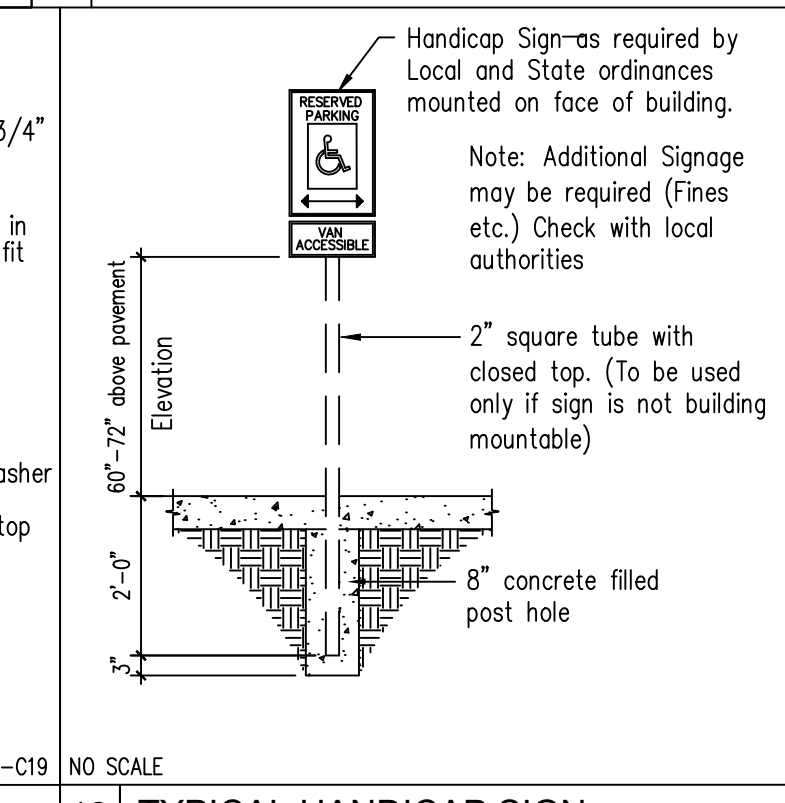
11 GATE LATCH / BOLT DETAILS



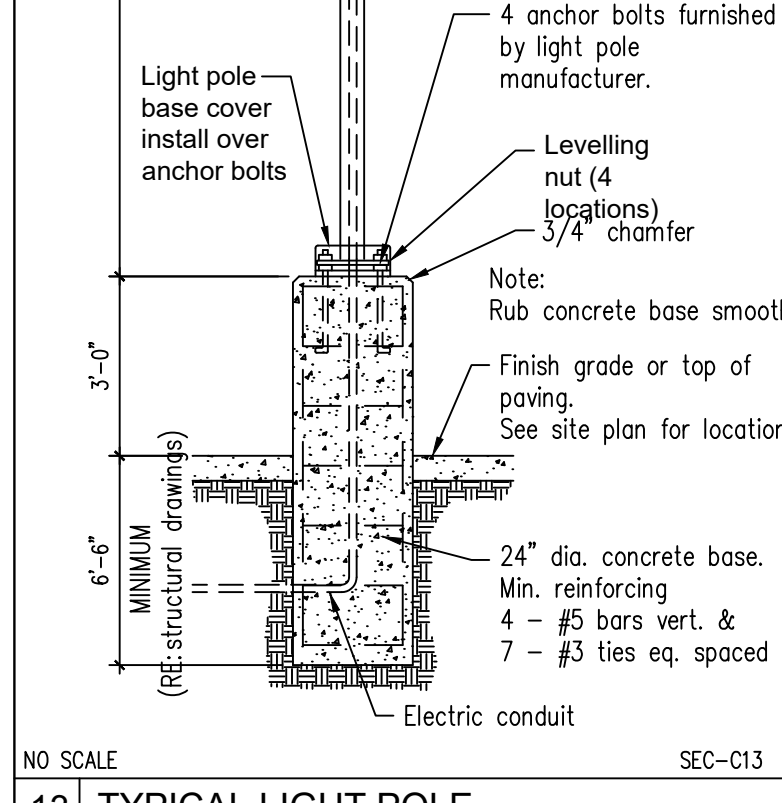
12 TYPICAL HANDICAP SIGN



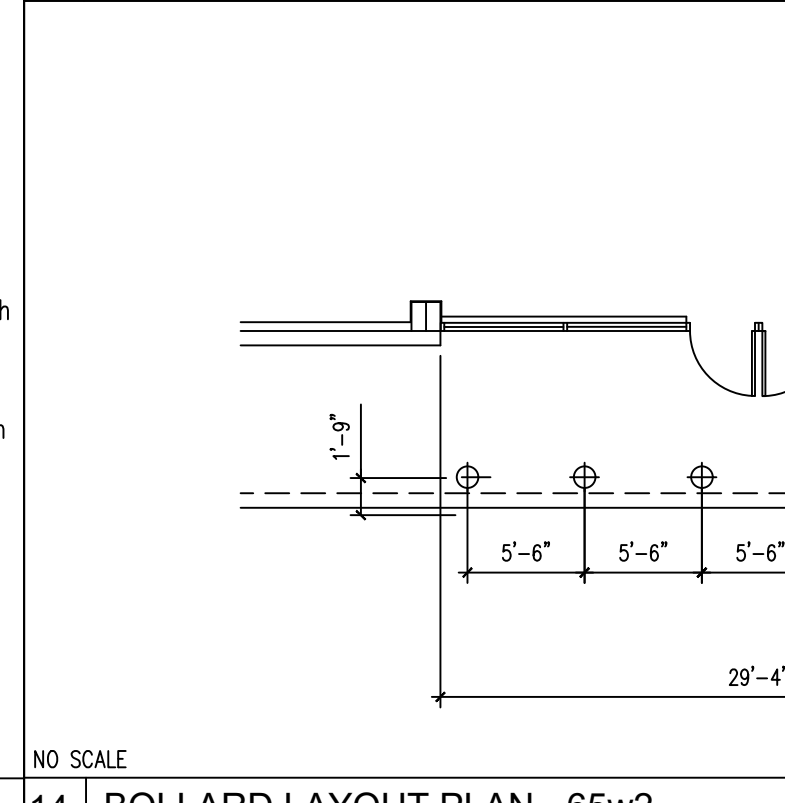
13 TYPICAL LIGHT POLE



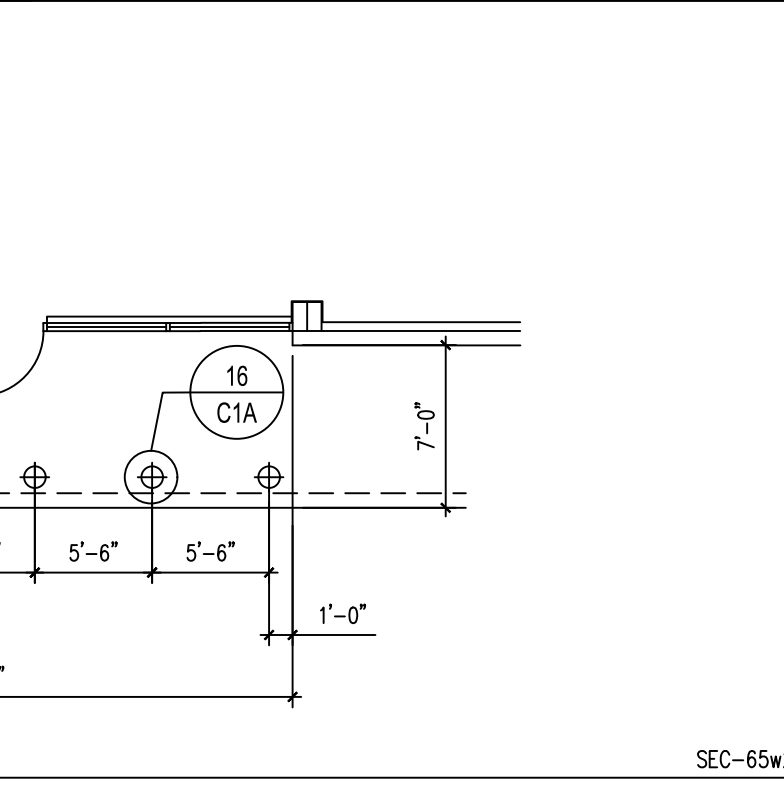
14 BOLLARD LAYOUT PLAN - 65w2



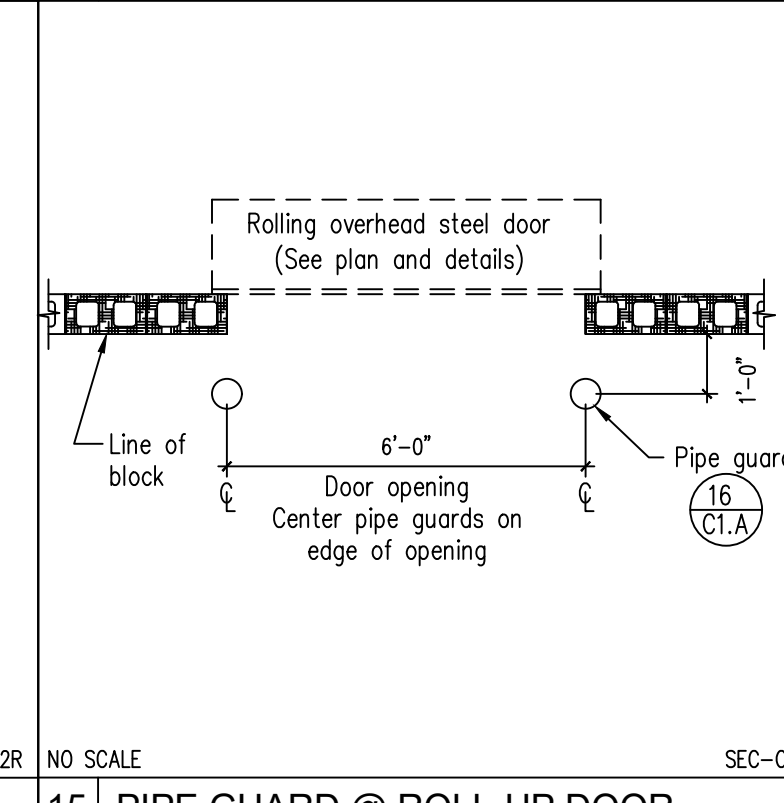
15 PIPE GUARD @ ROLL-UP DOOR



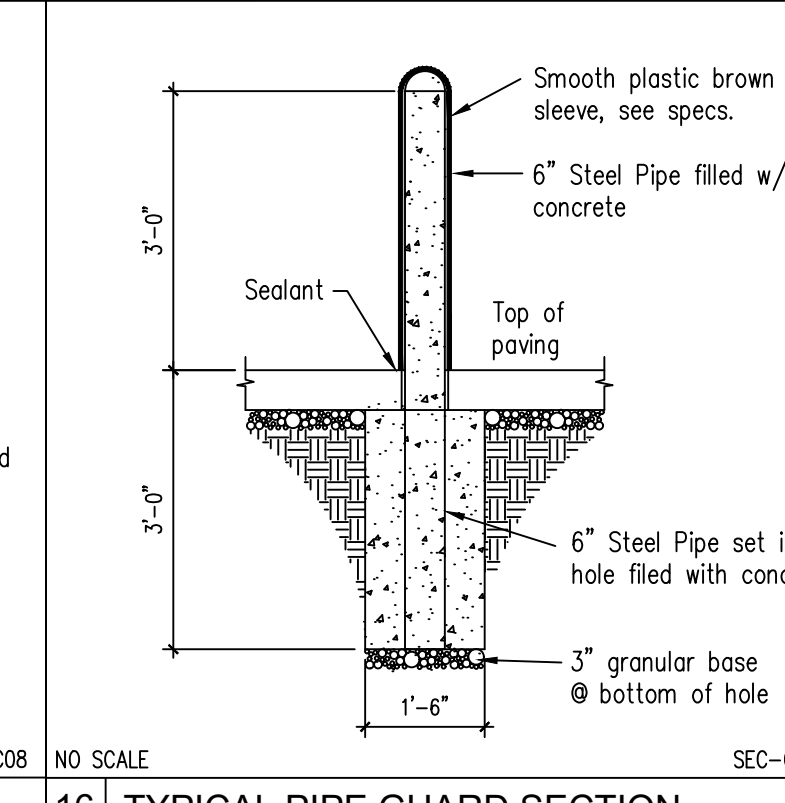
16 TYPICAL PIPE GUARD SECTION



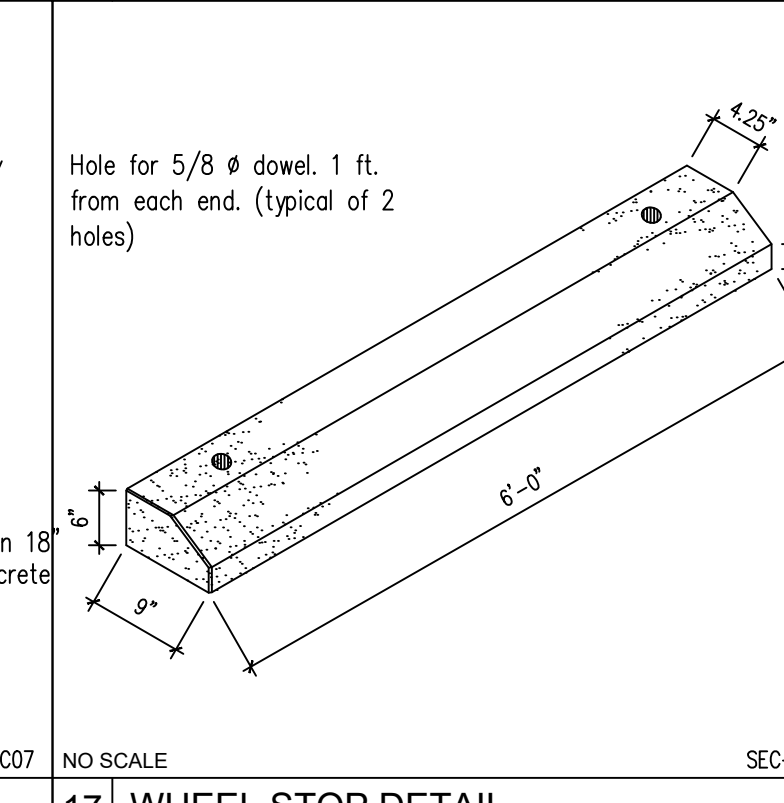
17 WHEEL STOP DETAIL



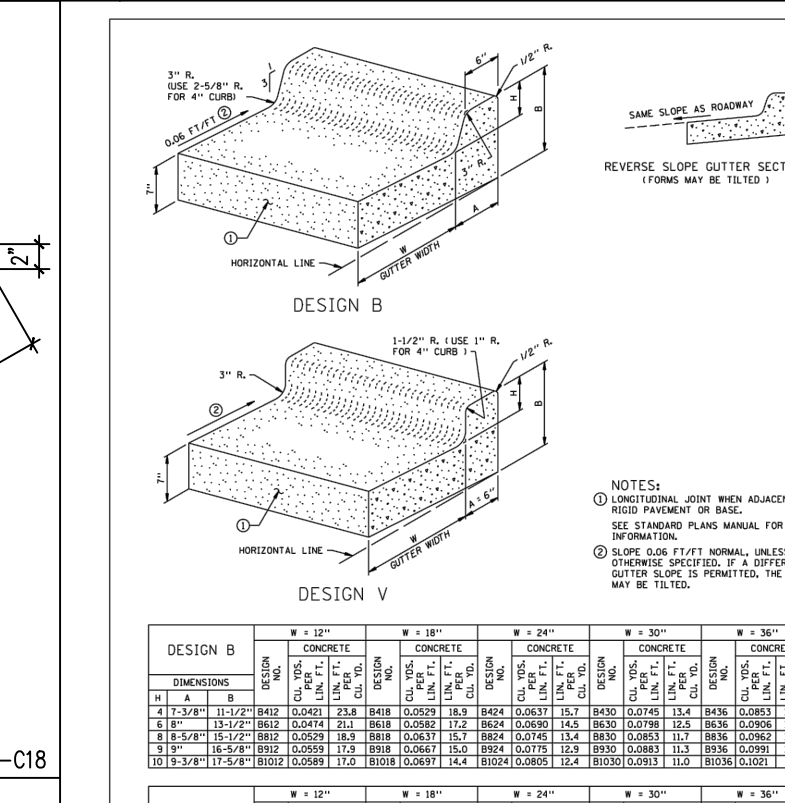
18 TYPICAL EXPANSION JOINT



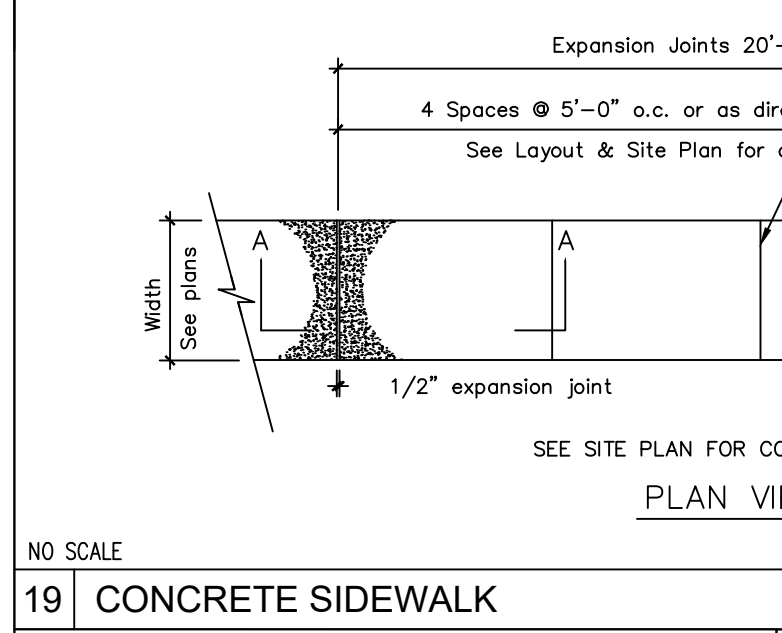
19 CONCRETE SIDEWALK



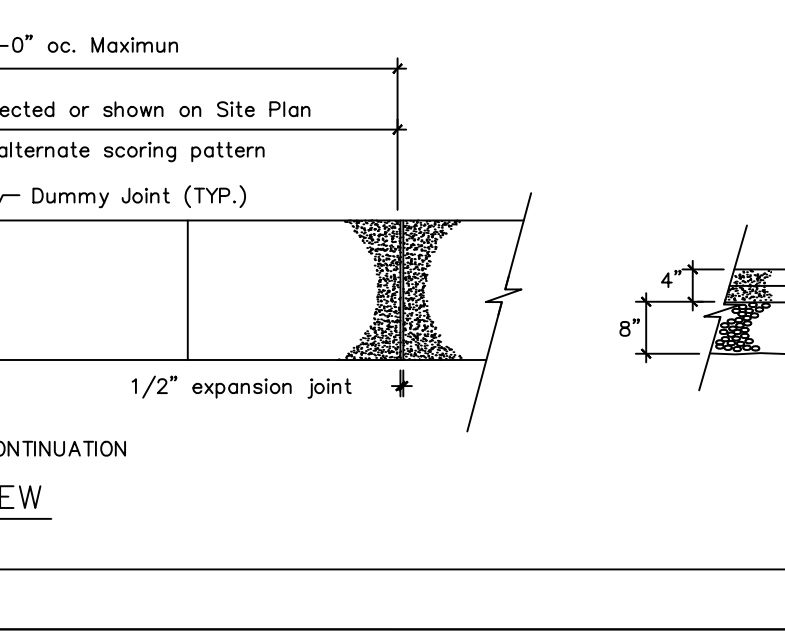
20 TYPICAL WALK SECTION



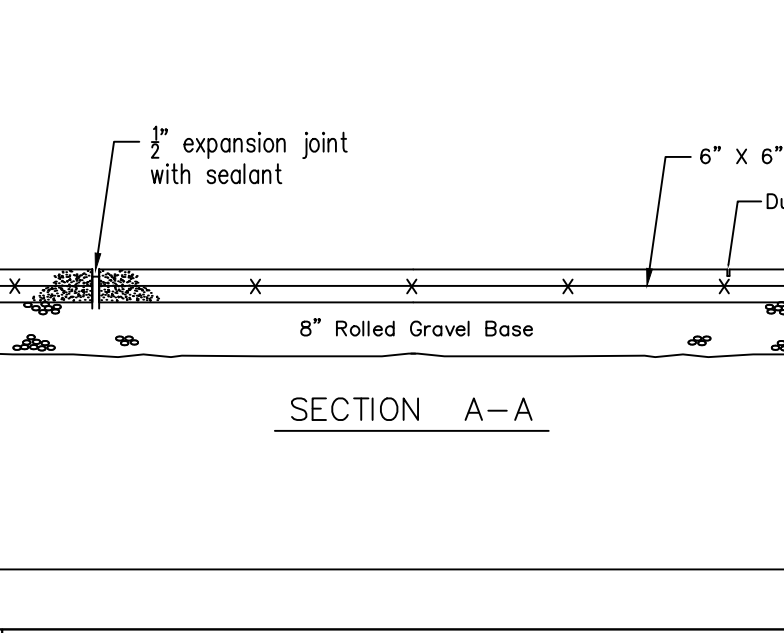
21 TYPICAL PAVEMENT MARKINGS



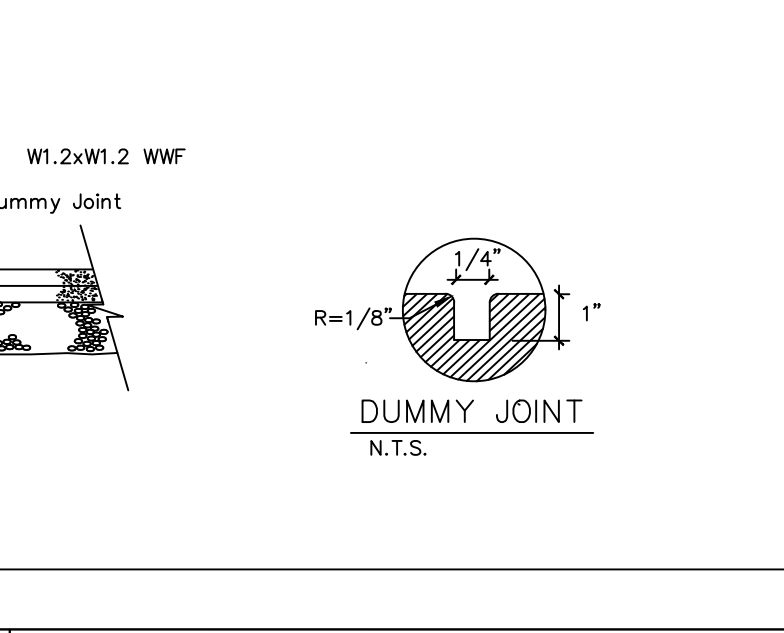
22 TYPICAL CONTROL JOINT



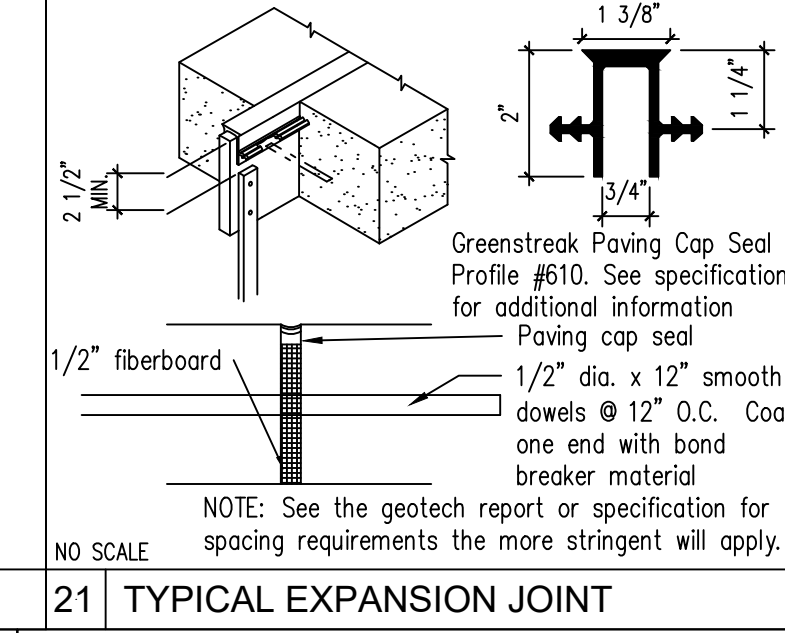
23 FROST DEPTH NOTES



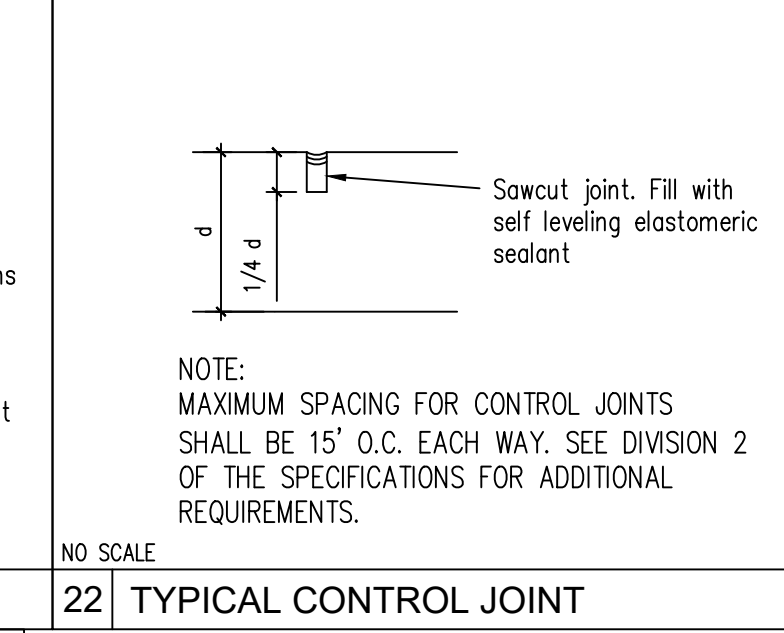
24 TYPICAL PAVEMENT MARKINGS



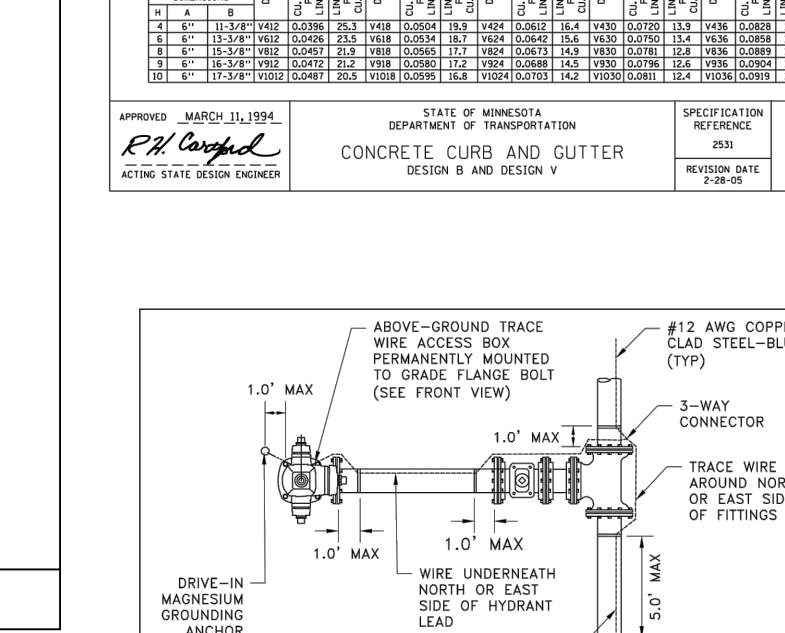
25 TYPICAL PAVEMENT MARKINGS



26 STOP SIGN DETAIL



27 TYPICAL EXPANSION JOINT



28 TYPICAL CONTROL JOINT

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MINNESOTA PROFESSIONAL ENGINEER LICENSE NO. 07072023
ALAN L. CATCHPOOL
MINNESOTA LICENSE NO. 47969

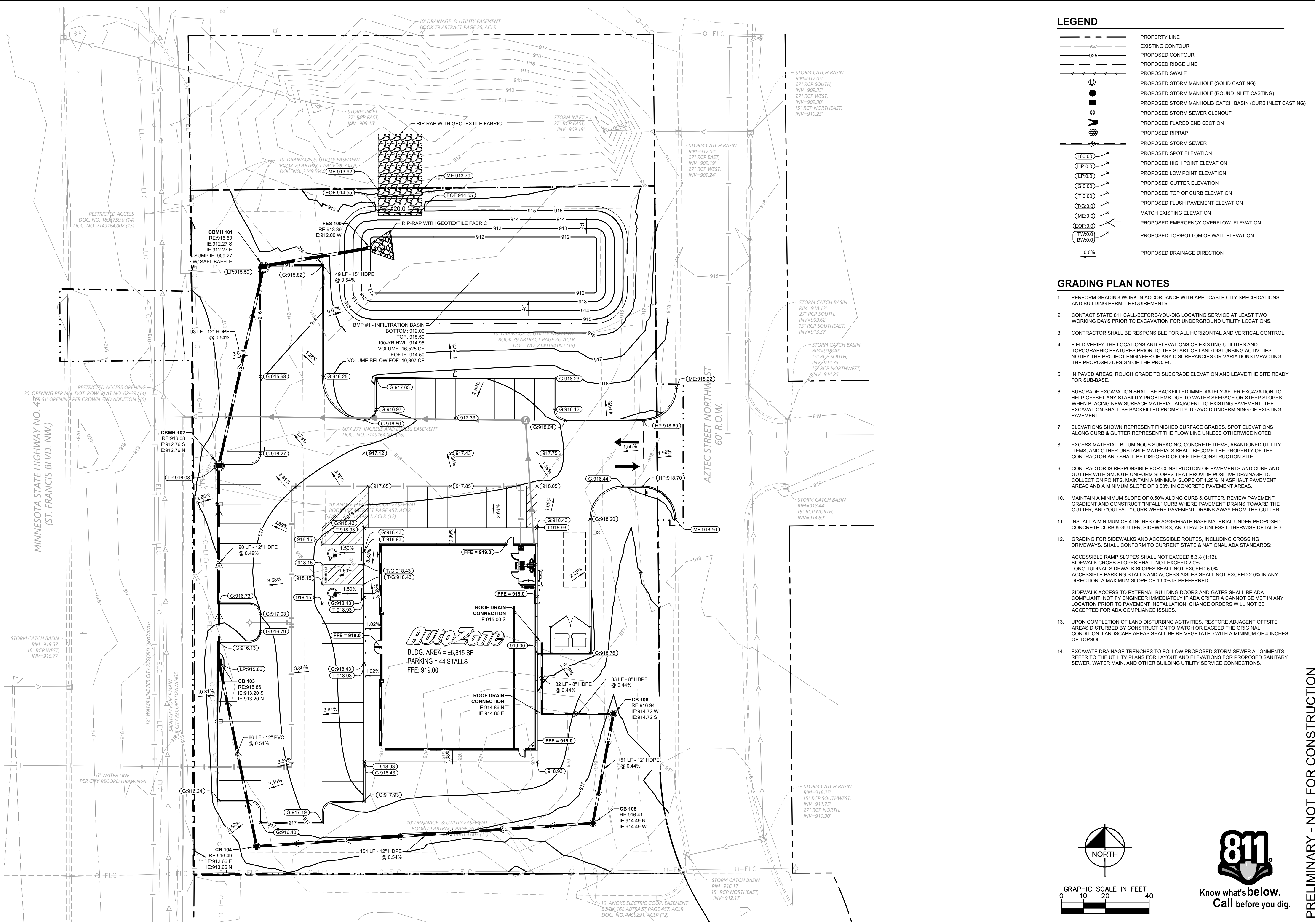
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ST FRANCIS AUTOZONE PREPARED FOR AUTOZONE

SHEET NUMBER **C402**

NO.	REVISIONS	DATE

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LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RIDGE LINE
- PROPOSED SWALE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLEANOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW ELEVATION
- PROPOSED TOP/BOTTOM OF WALL ELEVATION
- PROPOSED DRAINAGE DIRECTION

- ### GRADING PLAN NOTES
- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 - IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED.
 - EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
 - MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
 - INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.
 - GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:
ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.
ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
 - SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGE ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
 - UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
 - EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

Know what's below.
Call before you dig.

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ST FRANCIS AUTOZONE
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AUTOZONE

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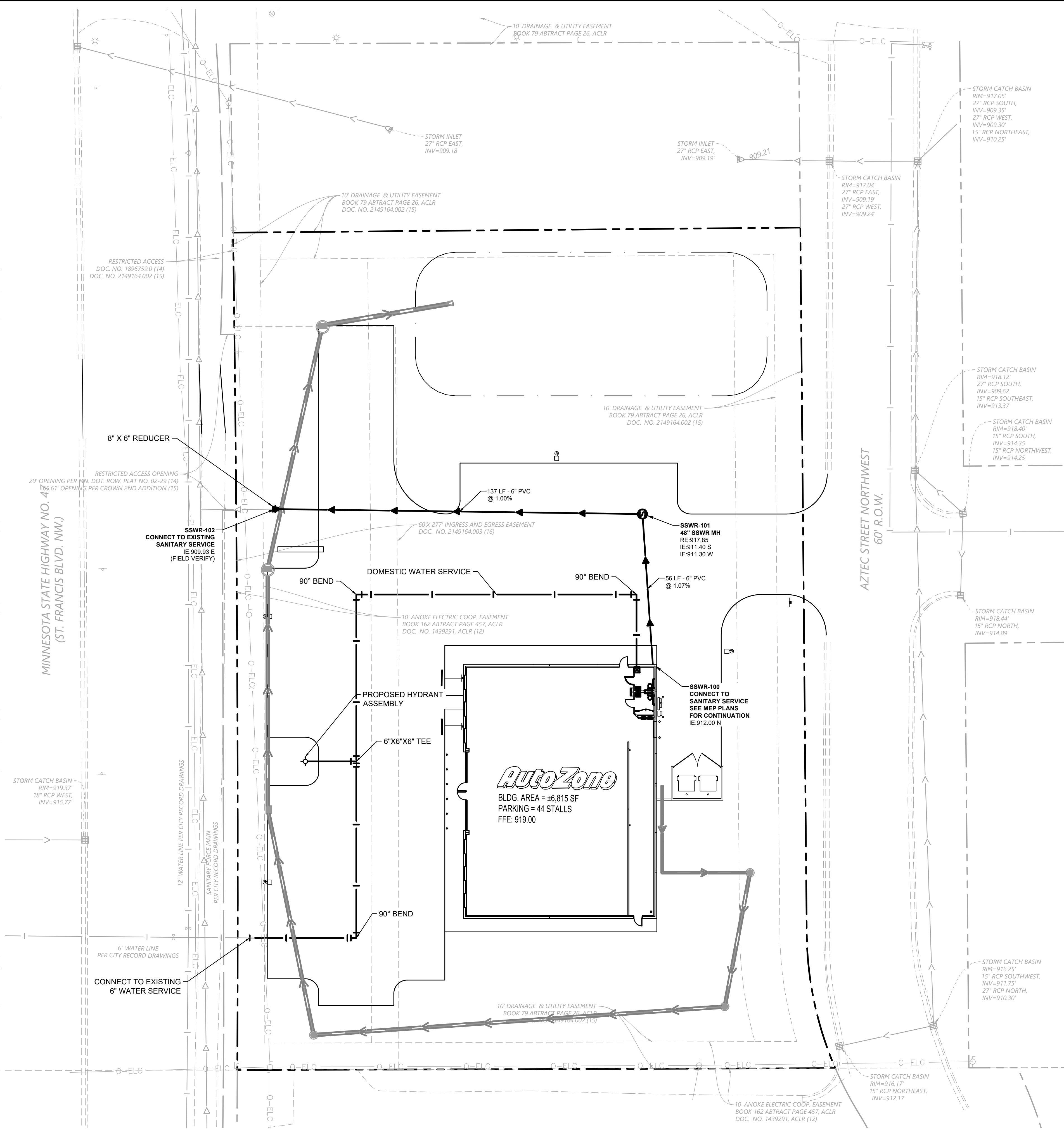
NO.	REVISIONS	DATE	BY

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811
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SHEET NUMBER
C500

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AQUA WATER SPECIFICATIONS

5.8 Cross-Connection Control

5.8.1 Location and Installation: In general, all backflow prevention assemblies shall be located directly following the water meter on developer/owner's property. If no meter is present (such as a building dedicated fire line) the backflow device shall be located at the right-of-way, edge of easement or edge of property line, and Aqua shall have no responsibility for the installation, operation or maintenance of the backflow device. Backflow prevention assemblies shall be installed aboveground to facilitate maintenance and testing and shall be operated with appropriate heat tracing for freeze protection. UTILITY's Cross Connection Control Policy shall be followed. It shall be the developer/owner's responsibility to purchase, install and maintain all backflow prevention assemblies. All cross-connection controls shall be tested and inspected by a North Carolina Department of Environmental Quality (NCDEQ) certified backflow prevention tester in accordance with state rules and regulations prior to acceptance by Aqua. Testable backflow devices shall be tested in accordance with State, Federal, and Local laws on a prescribed frequency but at a minimum of annually by a certified backflow prevention tester. Results from these tests shall be provided to Aqua NC. Any devices that are found to be defective shall be repaired immediately and follow-up test results provided to the UTILITY. Testing and maintenance of the backflow devices shall be the sole responsibility of the property owner. Failure to submit testing results and/or maintaining the devices in proper operational order could result in enforcement up to severance of service.

UTILITY CONTACTS:

TELEPHONE, FIBER OPTIC AND CABLE:
CENTURY LINK
1000 WESTGATE DR., ST. PAUL, MN 55114
TELEPHONE: (877)-778-9140

MIDCONTINENT COMMUNICATIONS
MCKINLEY ST N, CAMBRIDGE, MN 55008
TELEPHONE: (605)-271-0202

ZAYO BANDWIDTH
5005 CHESHIRE PKWY, PLYMOUTH, MN 55446
TELEPHONE: (800)-961-6500

ELECTRIC:
CONNEXUS ENERGY
14601 RAMSEY BLVD NW, RAMSEY, MN 55303
TELEPHONE: (763)-323-4215

NATURAL GAS:
CENTER POINT ENERGY
TELEPHONE: (800)-778-9140

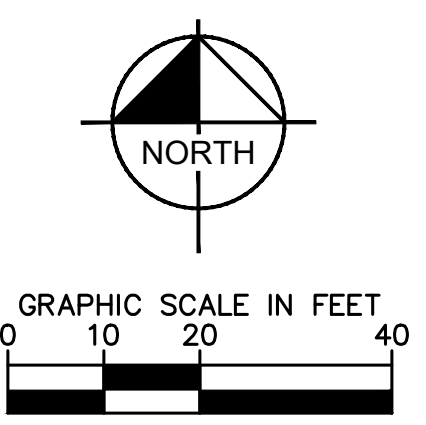
SANITARY SEWER, STORM SEWER AND WATER:
CITY OF ST. FRANCIS
23340 CREE ST NW, ST. FRANCIS, MN 55070
TELEPHONE: (763)-122-5219

MNDOT
TELEPHONE: (651)-366-5750

LEGEND

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN

- UTILITY PLAN NOTES**
- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
6" PVC SCHEDULE 40 PER ASTM D-1785
 - WATER LINES SHALL BE AS FOLLOWS:
4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 - WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 - PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
 - FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHEN SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
 - IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
 - REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
 - CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
 - EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
 - EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.



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UTILITY PLAN

ST. FRANCIS, MN

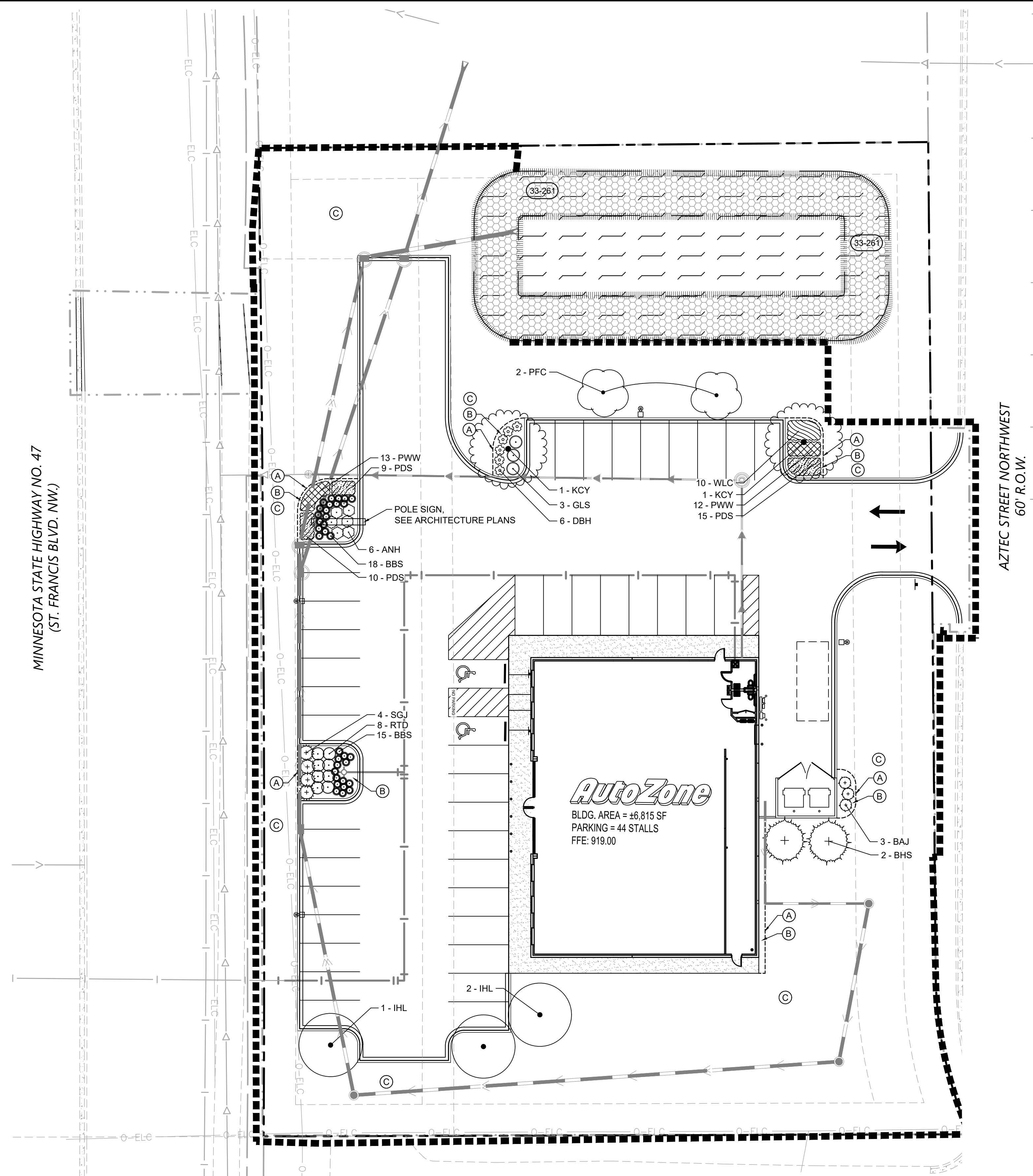
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NO.	REVISIONS	DATE	BY

KHA PROJECT: 160743023.1.100
DATE: 07/07/2023
SCALE: AS SHOWN
DESIGNED BY: RBW
DRAWN BY: RBW
CHECKED BY: ALC

ALAN L. CATCHPOOL
DATE: 07/07/2023
LIC. NO.: 47969



LANDSCAPE LEGEND

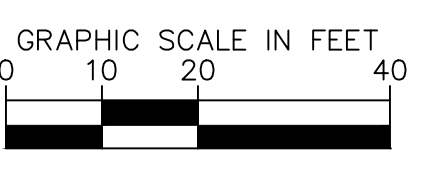
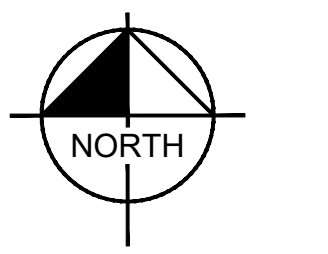
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)
- SEED / SOD EDGE (TYP.)
- SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)

LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) ROCK MULCH (TYP.)
- (C) SOD (TYP.)

SEEDING KEYNOTES

- (33-261) SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)



PLANT KEY

DECIDUOUS TREE		ORNAMENTAL GRASSES	
CODE	COMMON NAME	CODE	COMMON NAME
IHL	IMPERIAL HONEYLOCUST	BBS	BIG BLUESTEM
KCY	ESPRESSO KENTUCKY COFFEETREE	PDS	PRAIRIE DROPSIED
EVERGREEN TREE		PERENNIALS	
CODE	COMMON NAME	CODE	COMMON NAME
BHS	BLACK HILLS SPRUCE	PWW	POW WOW WILDBERRY CONEFLOWER
PFC	PRAIRIFIRE CRAB APPLE	WLC	WALKERS LOW CATMINT
ORNAMENTAL TREE			
CODE	COMMON NAME		
PFC	PRAIRIFIRE CRAB APPLE		
CONIFEROUS SHRUBS			
CODE	COMMON NAME		
BAJ	BLUE ARROW JUNIPER		
SGJ	SEA GREEN JUNIPER		
DECIDUOUS SHRUBS			
CODE	COMMON NAME		
ANH	ANNABELLE HYDRANGEA		
DBH	DWARF BUSH HONEYSUCKLE		
GLS	GRO-LOW FRAGRANT SUMAC		
RTD	RED TWIG DOGWOOD		

LANDSCAPE SUMMARY

ZONE: RETAIL

TREE CALIPER REQUIRED: THE MINIMUM NUMBER OF CALIPER INCHES OF TREES REQUIRED SHALL BE DETERMINED BY DIVIDING THE TOTAL GROSS SQUARE FOOTAGE OF ALL FLOORS OF A BUILDING BY THREE HUNDRED TWENTY (320).

21 CAL. INCHES = (6,815 BUILDING S.F. / 320)

TREE CALIPER PROVIDED: 22.5 CAL. INCHES

5 - 2.5" CAL. DECIDUOUS TREE
2 - 6' HT. EVERGREEN TREE
2 - 2" CAL. ORNAMENTAL TREE

* FOR THE PURPOSES OF THIS ORDINANCE, A FOUR (4) FOOT TALL EVERGREEN TREE IS EQUAL TO TWO (2) CALIPER INCHES.

TREE FULFILLMENT REQUIRED: THE COMPLEMENT OF TREES FULFILLING THE CALIPER-INCH REQUIREMENT TO NOT BE LESS THAN 25 PERCENT DECIDUOUS, 25 PERCENT EVERGREEN, AND 10 PERCENT ORNAMENTAL. FOR THE PURPOSES OF THIS ORDINANCE, A FOUR (4) FOOT TALL EVERGREEN TREE IS EQUAL TO TWO (2) CALIPER INCHES.

TREE FULFILLMENT PROVIDED: 22.5 TOTAL CAL. INCHES

12.5 DECIDUOUS CAL. INCHES / 56% (12.5 CAL. INCHES / 22.5 TOTAL CAL. INCHES)
6 EVERGREEN CAL. INCHES / 27% (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES)
4 ORNAMENTAL CAL. INCHES / 18% (4 CAL. INCHES / 22.5 TOTAL CAL. INCHES)

TREE DIVERSITY REQUIRED: DECIDUOUS AND EVERGREEN TREES SHALL BE OF A SUFFICIENT DIVERSITY SUCH THAT NOT MORE THAN 25 PERCENT OF THE TOTAL CALIPER INCHES SHALL BE WITHIN THE SAME GENUS.

6 DECIDUOUS CAL. INCHES = (22.5 CAL. INCHES * .25)
6 EVERGREEN CAL. INCHES = (22.5 CAL. INCHES * .25)

TREE DIVERSITY PROVIDED: 7.5 DECIDUOUS CAL. INCHES / 33%
6 EVERGREEN CAL. INCHES / 25%

PLANTING ISLAND REQUIRED: PLANTING ISLANDS MAY OCCUPY AT LEAST FIVE (5) PERCENT OF THE REQUIRED PARKING AREA.

760 PLANTING ISLAND S.F. = (15,207 TOTAL PARKING AREA * 0.05)

PLANTING ISLAND PROVIDED: 760 PLANTING ISLAND S.F.

PARKING AREA LANDSCAPE REQUIRED: A MINIMUM PERIMETER TREE PLANTING OF ONE (1) PER 60 FEET OF PARKING LOT PERIMETER.

4 TREES = (237 L.F. PARKING LOT PERIMETER / 60)

PARKING AREA LANDSCAPE PROVIDED: 4 TREES

INTERIOR PARKING AREA REQUIRED: INTERIOR PARKING AREAS SHOULD HAVE A MINIMUM OF ONE (1) TREE PER 10 SPACES (EXCLUDING PERIMETER SPACES) PLANTED IN PARKING LOT ISLANDS.

4 TREES = (44 TOTAL PARKING SPACES / 10)

INTERIOR PARKING AREA PROVIDED: 4 TREES

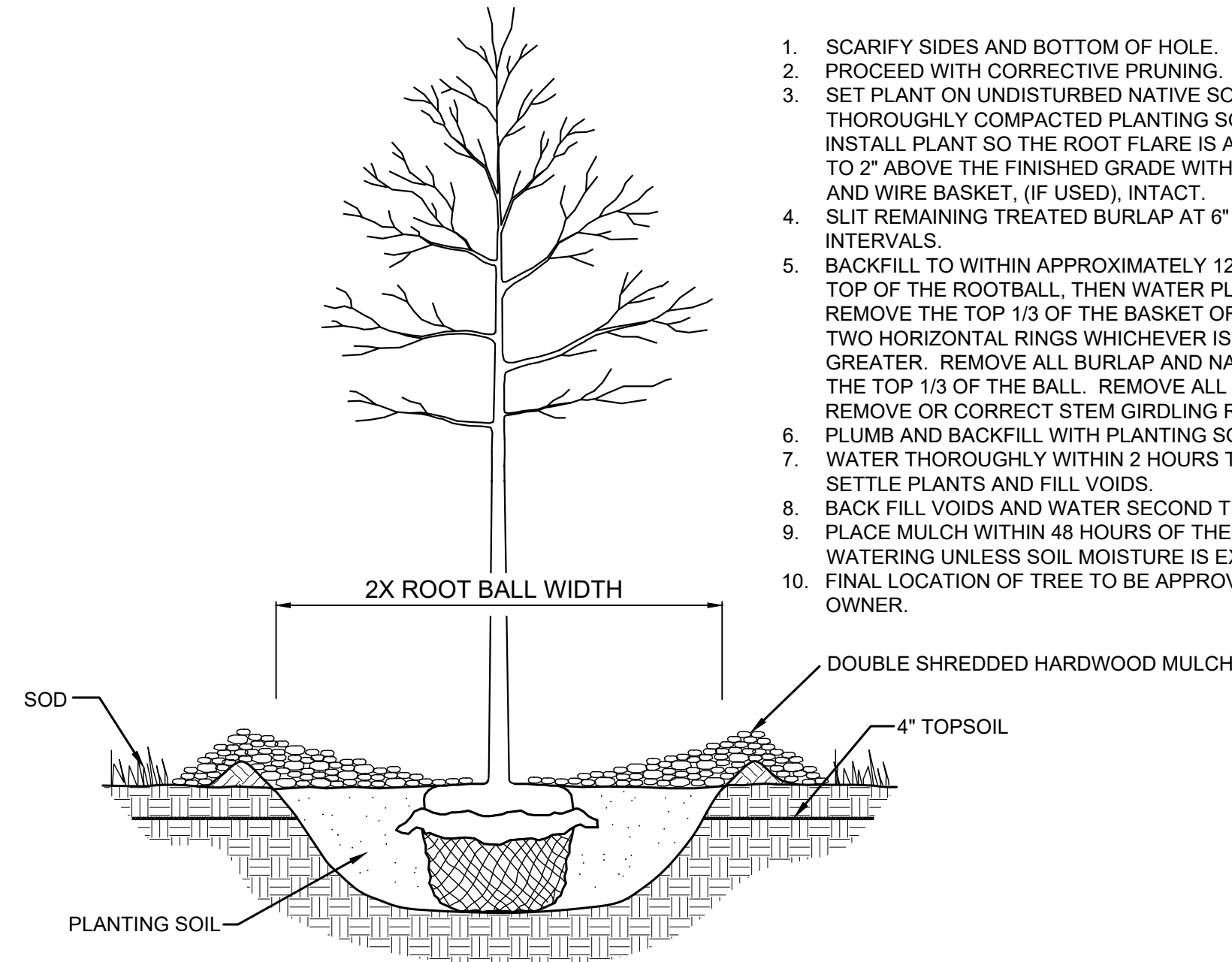


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<p>ST FRANCIS AUTOZONE PREPARED FOR AUTOZONE</p>	<p>LANDSCAPE PLAN</p>	<p>ST. FRANCIS MN</p>
<p>SHEET NUMBER L100</p>	<p>DATE: 07/07/2023</p>	<p>DATE: 07/07/2023</p>
<p>DESIGNED BY: SSL</p>	<p>DRAWN BY: SSL</p>	<p>CHECKED BY: RAH</p>
<p>PROJECT NO: 160743023.1.100</p>	<p>DATE: 07/07/2023</p>	<p>SCALE: AS SHOWN</p>
<p>THESE CONCEPTS AND REPORTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER FOR THE STATE OF MINNESOTA.</p>		
<p>Kimley»Horn</p>		
<p>2023 KIMLEY-HORN AND ASSOCIATES, INC. 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1877 WWW.KIMLEY-HORN.COM</p>		
<p>RYAN A. HYLLESTED MIN. LIC. NO. 53828</p>	<p>DATE: 07/07/2023</p>	<p>DATE: 07/07/2023</p>
<p>REVISIONS</p>	<p>NO.</p>	<p>DATE</p>

NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



1 TREE PLANTING DETAIL

SCALE: N.T.S.

L101

ON CENTER SPACING AS STATED ON PLAN.

EXTEND HOLE EXCAVATION WIDTH A MINIMUM OF 6" BEYOND THE PLANTS ROOT SYSTEM.

FINISHED GRADE
EDGER, AS SPECIFIED

PREPARED PLANTING BED AND BACKFILL SOIL (THOROUGHLY LOOSENEED)

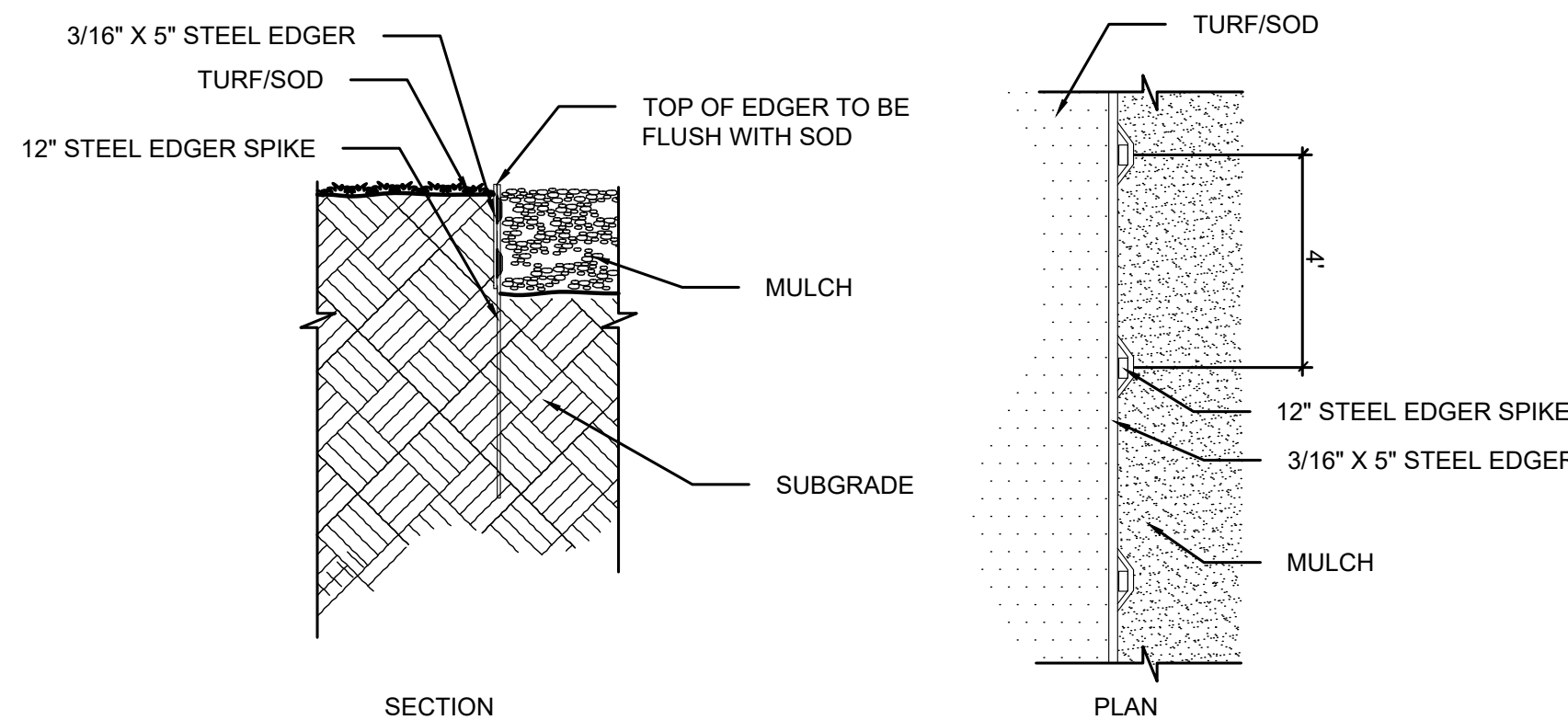
NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

2 SHRUB / PERENNIAL PLANTING DETAIL

SCALE: N.T.S.

L101



4 STEEL EDGER DETAIL

SCALE: N.T.S.

L101

PLANT SCHEDULE

DECIDUOUS TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE
	IHL	3	GLEDITSIA TRIACANTHOS VAR. INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2.5" CAL.
	KCY	2	GYMNOCLADUS DIOICIA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	B & B	2.5" CAL.
EVERGREEN TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE
	BHS	2	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	6' HT.
ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE
	PFC	2	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRAB APPLE	B & B	2" CAL.
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING
	BAJ	3	JUNIPERUS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JUNIPER	#5 CONT.	4' O.C.
	SGJ	4	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT.	5' O.C.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING
	ANH	6	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4' O.C.
	DBH	6	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3' O.C.
	GLS	3	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4' O.C.
	RTD	8	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	#5 CONT.	5' O.C.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING
	BBS	33	ANDROPOGON GERARDII	BIG BLUESTEM	#1 CONT.	30" O.C.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	PDS	49	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT	24" O.C.
	PWW	25	ECHINACEA X 'POW WOW WILDBERRY'	POW WOW WILDBERRY CONEFLOWER	#1 CONT	24" O.C.
	WLC	10	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	#1 CONT	30" O.C.

LANDSCAPE NOTES

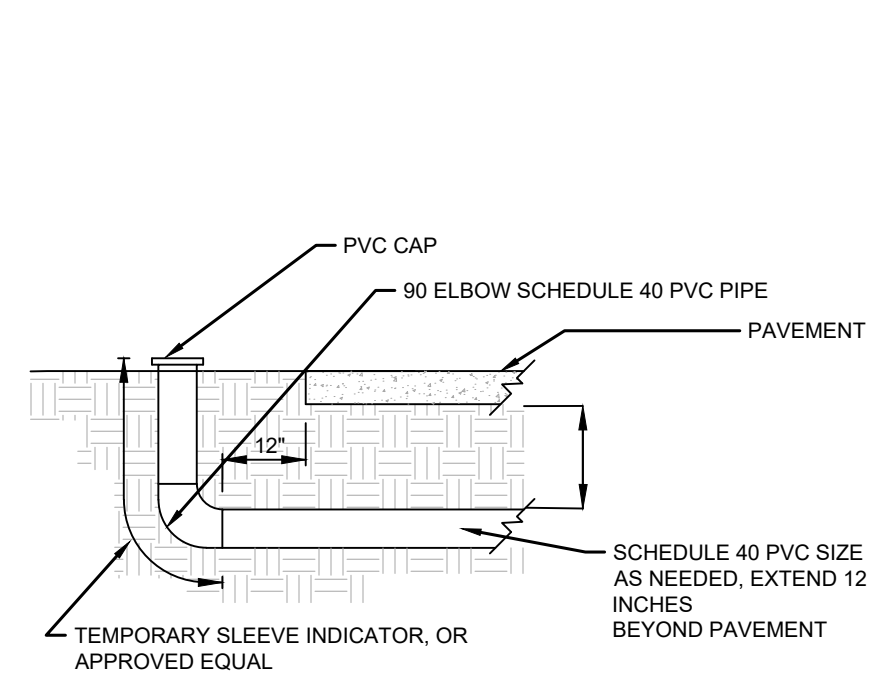
1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR, OR APPROVED EQUAL. ROCK MULCH TO BE RIVER ROCK, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
24. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIRES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

PRELIMINARY - NOT FOR CONSTRUCTION

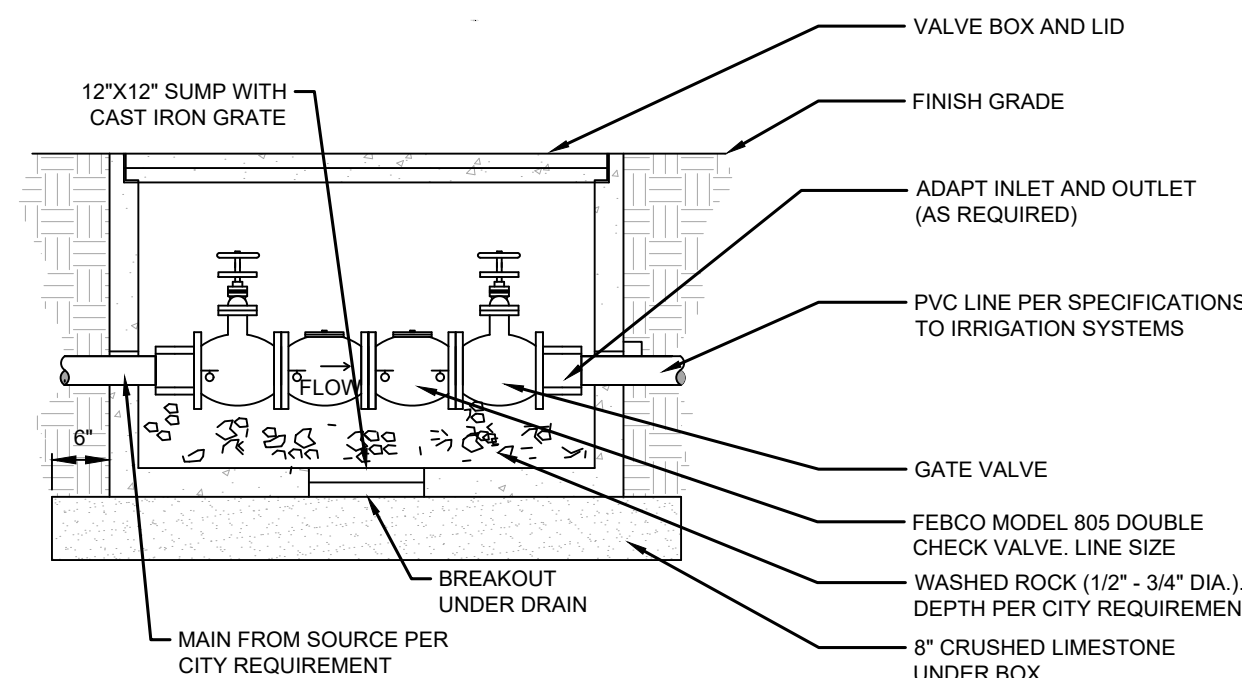
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LANDSCAPE DETAILS		ST FRANCIS AUTOZONE PREPARED FOR AUTOZONE		ST. FRANCIS MN		
KIMLEY-HORN & ASSOCIATES, INC. 2023 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-4197 WWW.KIMLEY-HORN.COM						REVISIONS
						No.
						DATE
						BY
SHEET NUMBER L101						

K:\TWC_LDEVAutoZone\St Francis, MN #5100\3 Design\CAD\PlanSheets\I-IRRIGATION DETAILS.dwg July 07, 2023 - 11:13am

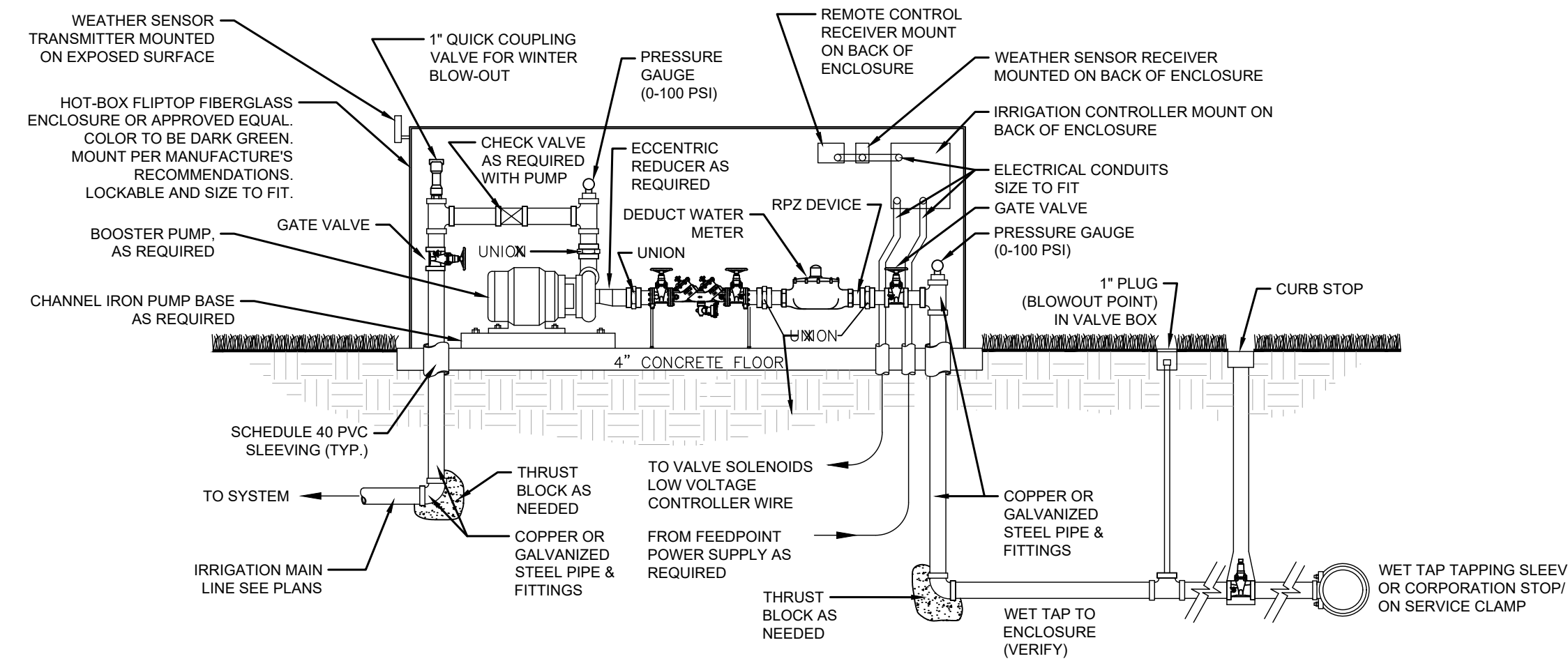
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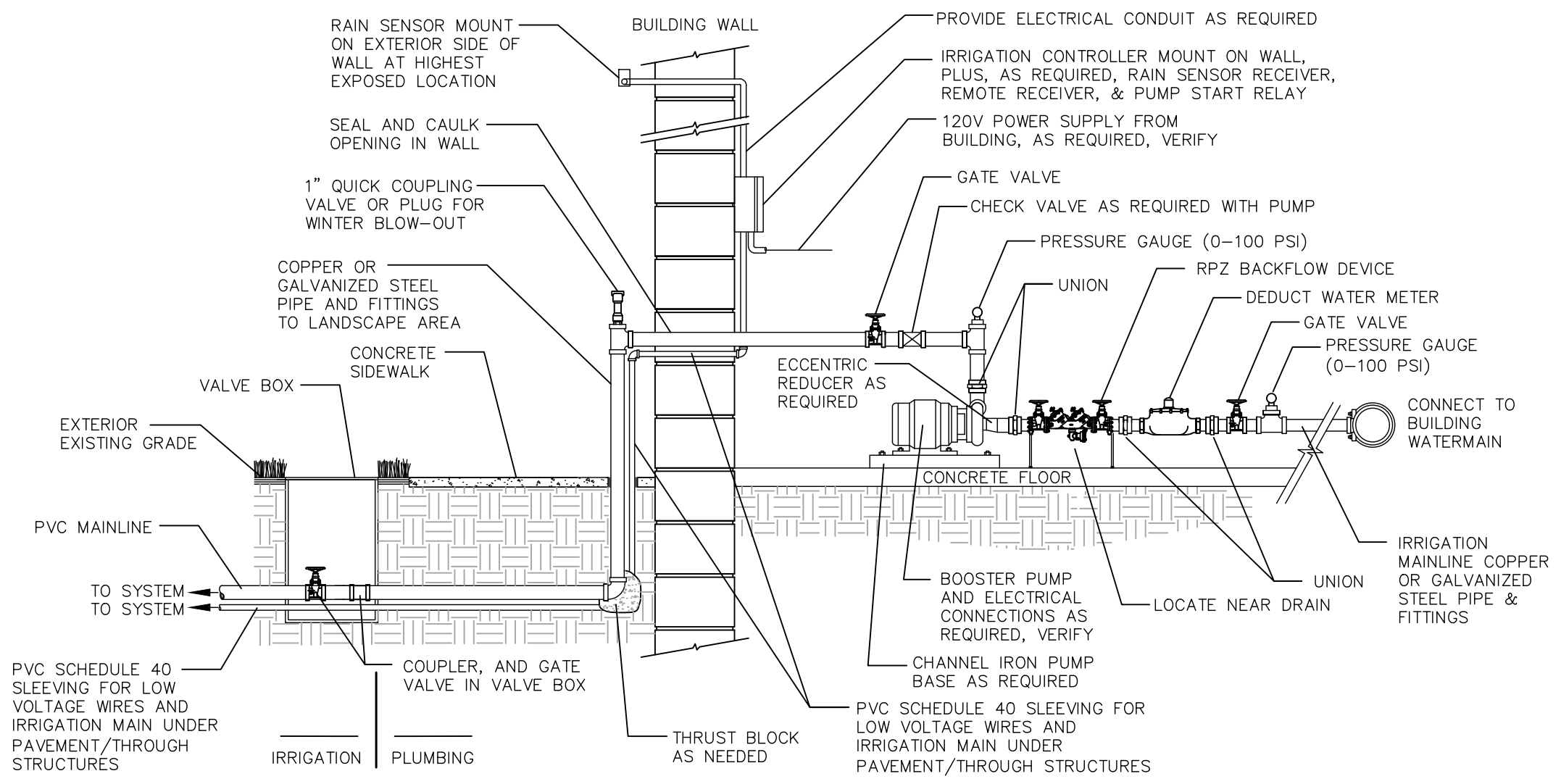
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SCALE: NTS L201



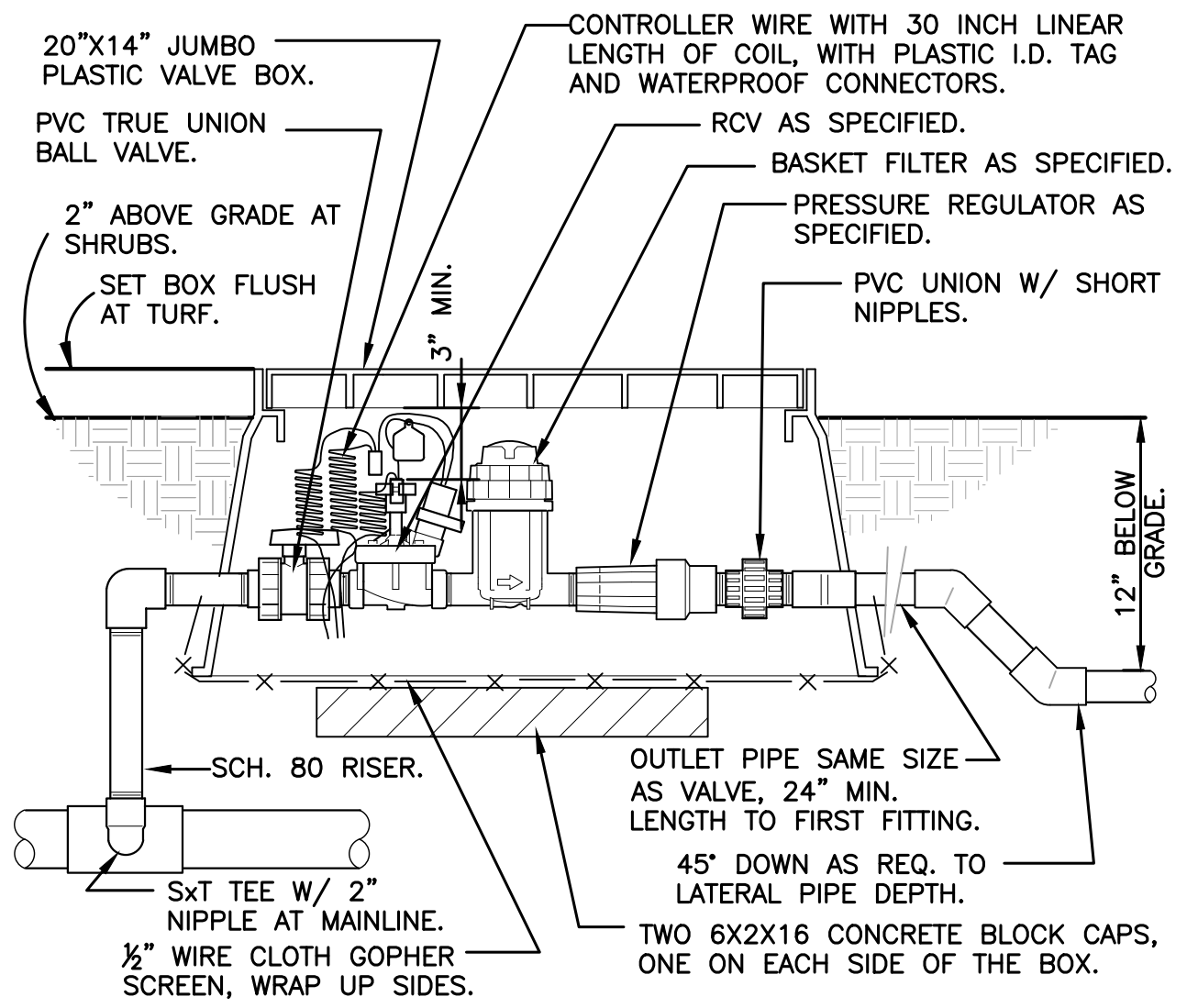
2 TYPICAL BACKFLOW PREVENTER
SCALE: NTS L201



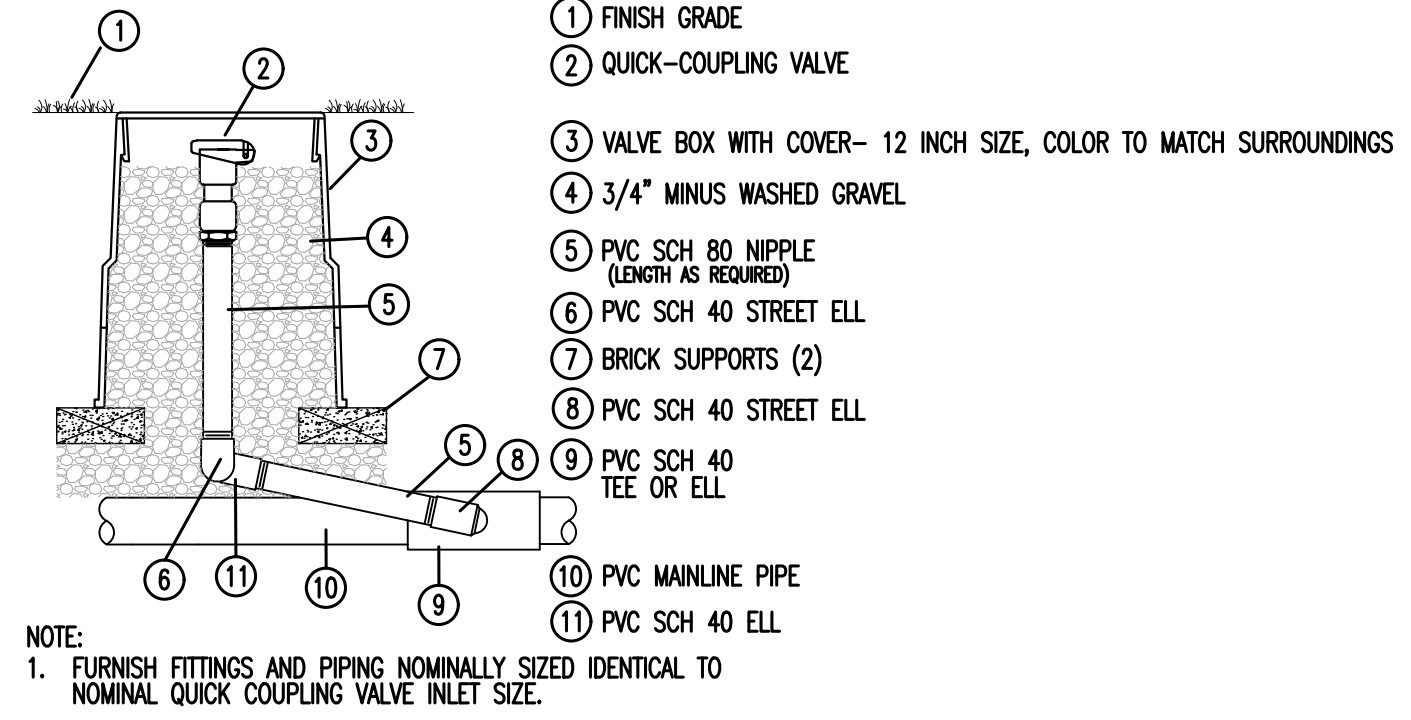
3 SCHEMATIC ILLUSTRATION OF EXTERIOR ENCLOSURE IRRIGATION CONNECTION
SCALE: NTS L201



4 SCHEMATIC ILLUSTRATION OF EXTERIOR ENCLOSURE IRRIGATION CONNECTION
SCALE: NTS L201



4 1" DRIP VALVE W/BASKET FILTER
SCALE: NTS L201



5 QUICK COUPLING VALVE
SCALE: NTS L201

REVISIONS	DATE	BY
No.		

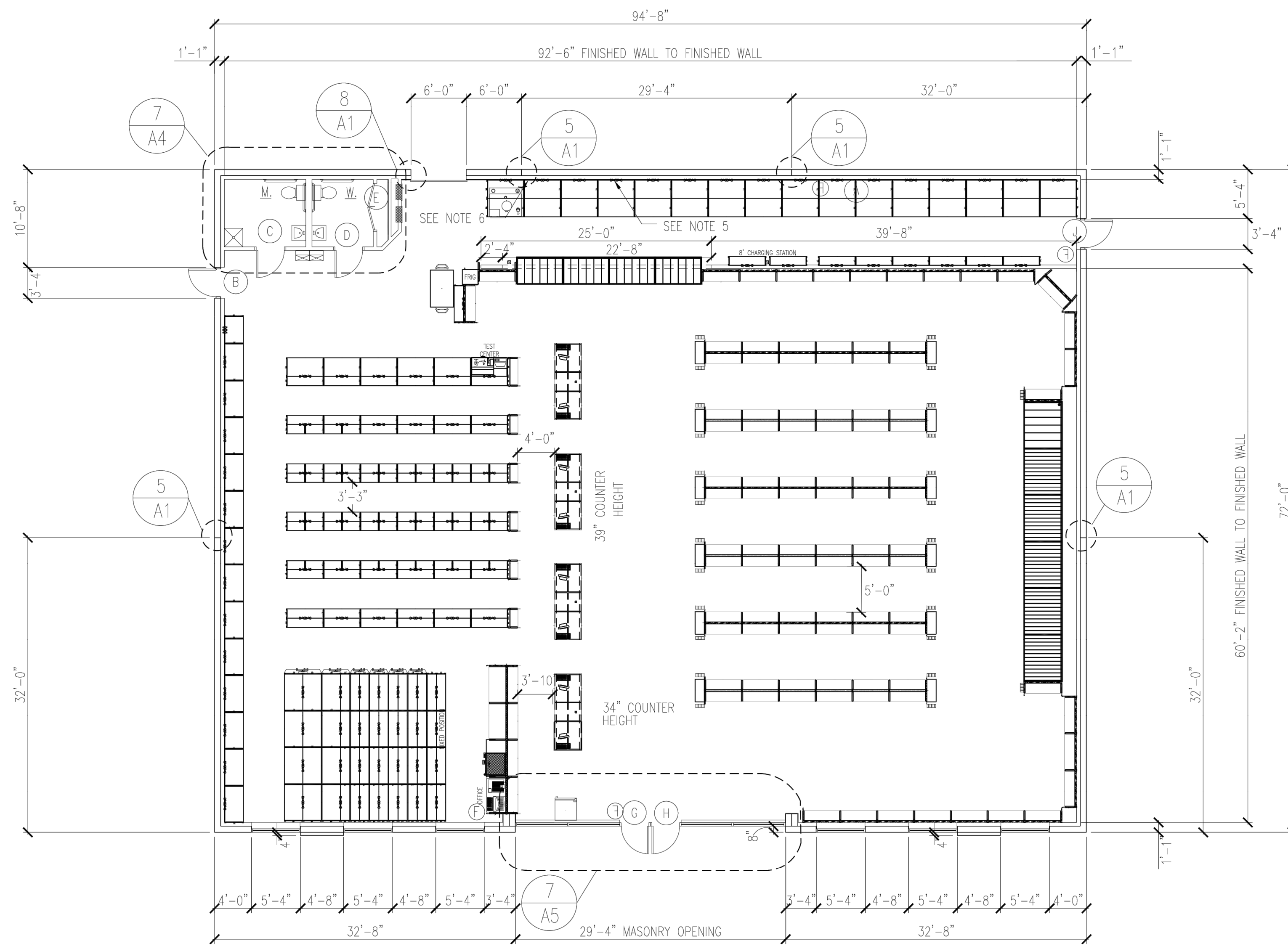
Kimley >>> Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-945-4197
WWW.KIMLEY-HORN.COM

KHA PROJECT 160743023.1.100	DESIGNED BY RBW	CHECKED BY ALC
DATE 07/07/2023	DRAWN BY RBW	
SCALE #####		
<small>THIS DOCUMENT IS PREPARED BY AN ARCHITECT OR ENGINEER REGISTERED UNDER THE LAWS OF THE STATE OF MINNESOTA.</small>		
<small>ALAN L. CATCHPOOL M.N. LIC. NO. 47969</small>		

IRRIGATION DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION
ST FRANCIS AUTOZONE PREPARED FOR AUTOZONE

SHEET NUMBER
L201



NOTE: (A1) = NEW DRY CHEMICAL FIRE EXTINGUISHER. GENERAL CONTRACTOR TO INSTALL ONE KIDDE 10 lb #46620420 AT BATTERY CHARGING AND KIDDE 5 lb #FC-340M-VB AT ALL OTHER LOCATIONS. INSTALL EITHER ON WALL SURFACE, FIXTURE UPRIGHT OR ALUMINUM MULLION. MOUNTING HEIGHT = 3'-6" ABOVE FINISHED FLOOR TO TOP OF EXTINGUISHER.

1/8" = 1'-0"

1 FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 93" ABOVE FINISHED FLOOR. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET M-2 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" x 4'-0" x 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE FACE OF GYPSUM BOARD WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. SEE INTERIOR ELEVATIONS SEE 3/A4 DETAIL.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

1/8" = 1'-0"

2 FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	CLG.	REM.			
	SEALED CONCRETE	VINYL TILE	VINYL	QUARRY TILE	GYPSUM BOARD	FIBER REINFORCED PANELS	METAL DECK	GYPSUM BOARD
SALES AREA	●	●	●	●	●			
REST ROOMS	●	●	●	●	●			

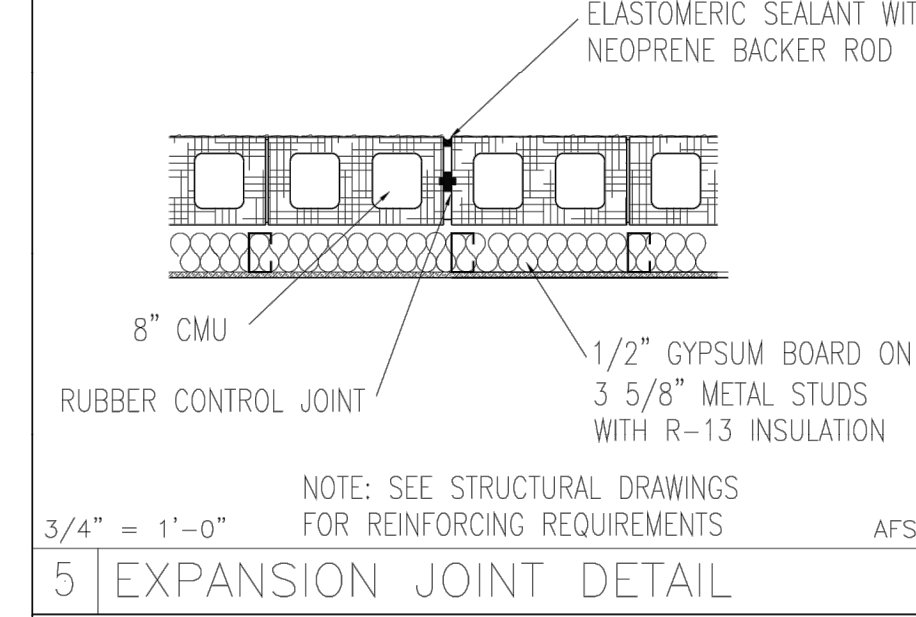
3/16" = 1'-0"

3 ROOM FINISH SCHEDULE

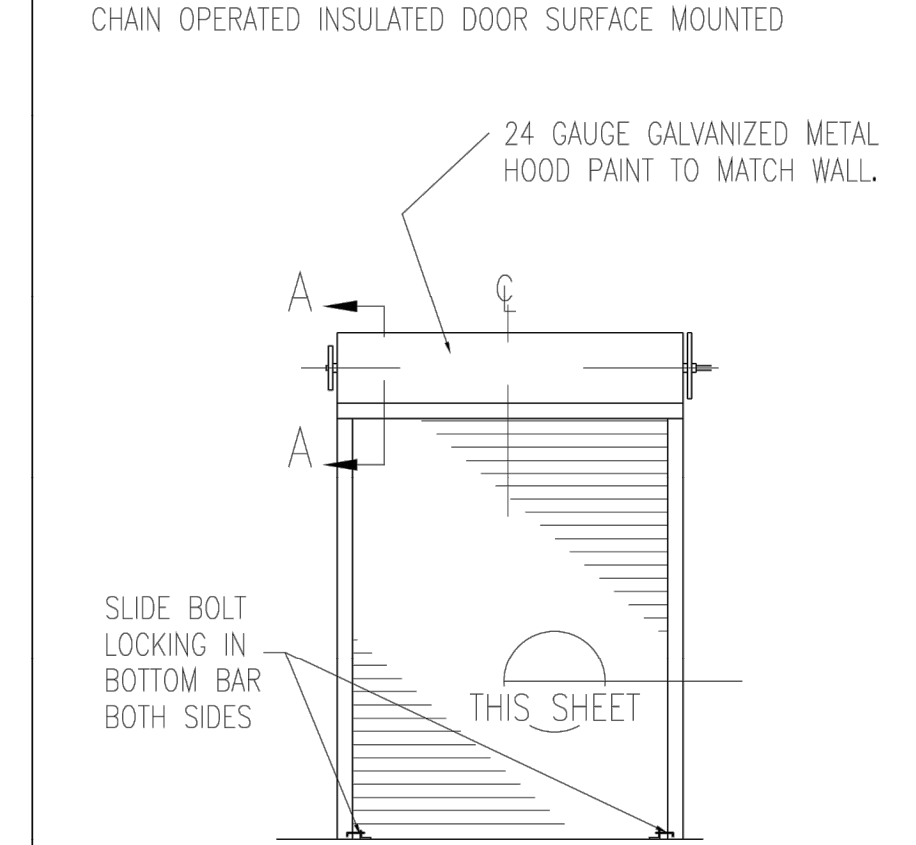
MK	SIZE	TYPE	FRAME	JAMB DETAIL	HEAD DETAIL	ADA / EXIT HARDWARE	SEE SECTION 08700 OF THE SPECIFICATIONS
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	6:7&8/A1	6&7/A1		
B	3'-0" x 7'-0"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE WILL HAVE AN INTEGRAL SOUNDER	
C	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS	
D	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS	
E	2'-6" x 6'-8" x 1-3/4"	SOLID CORE WOOD PAIR REQUIRED	HOLLOW METAL	8/A1	8/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)	
G	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM		SEE MANUFACTURER'S SHOP DRAWINGS		
H	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM		SEE MANUFACTURER'S SHOP DRAWINGS		
J	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE	

3/32" = 1'-0"

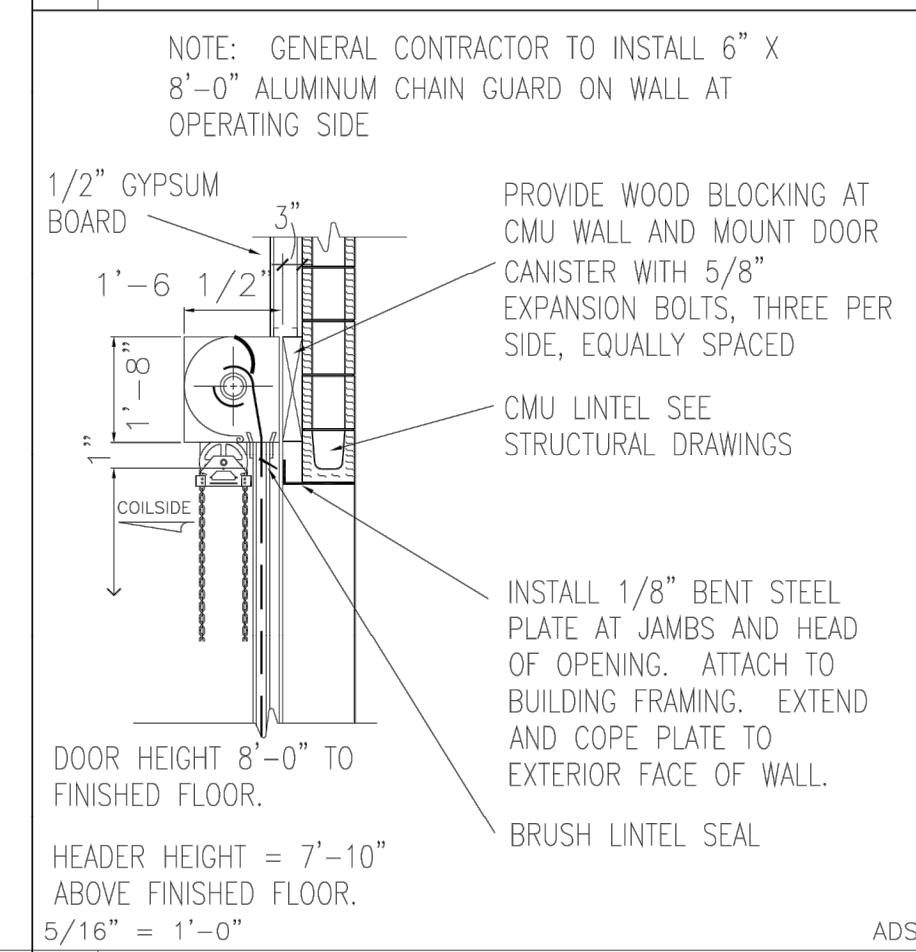
4 DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES



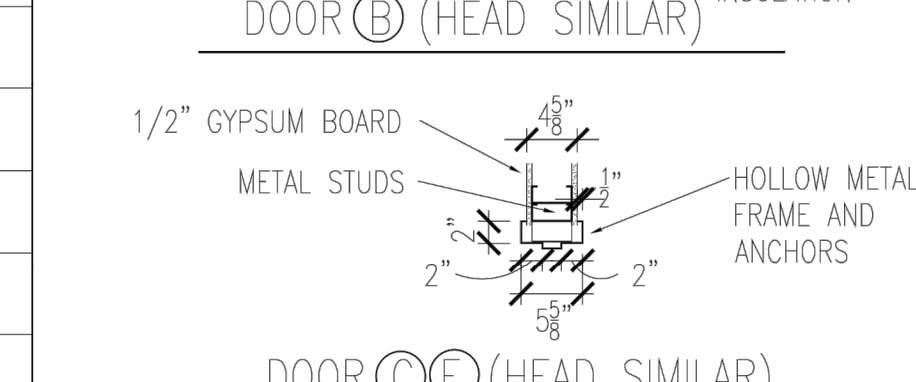
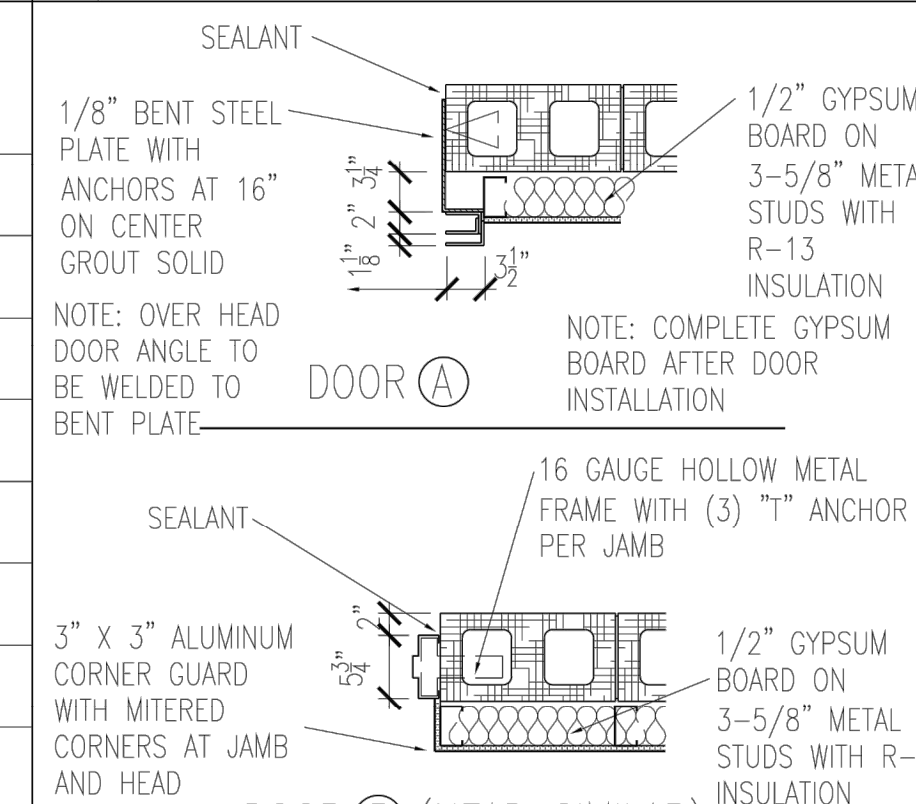
5 EXPANSION JOINT DETAIL



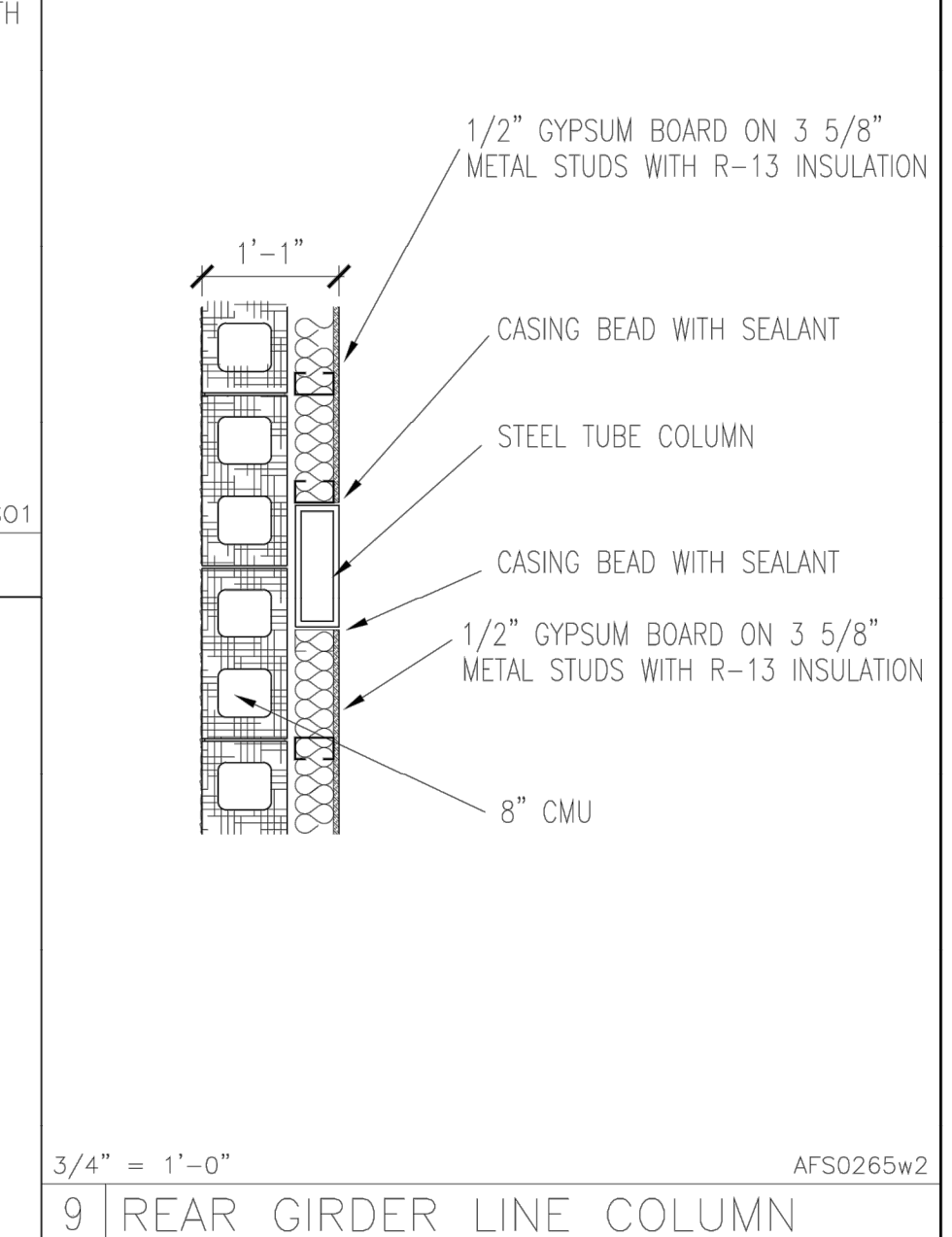
6 OVERHEAD DOOR ELEVATION



7 OVERHEAD DELIVERY DOOR (A)



8 JAMB DETAILS



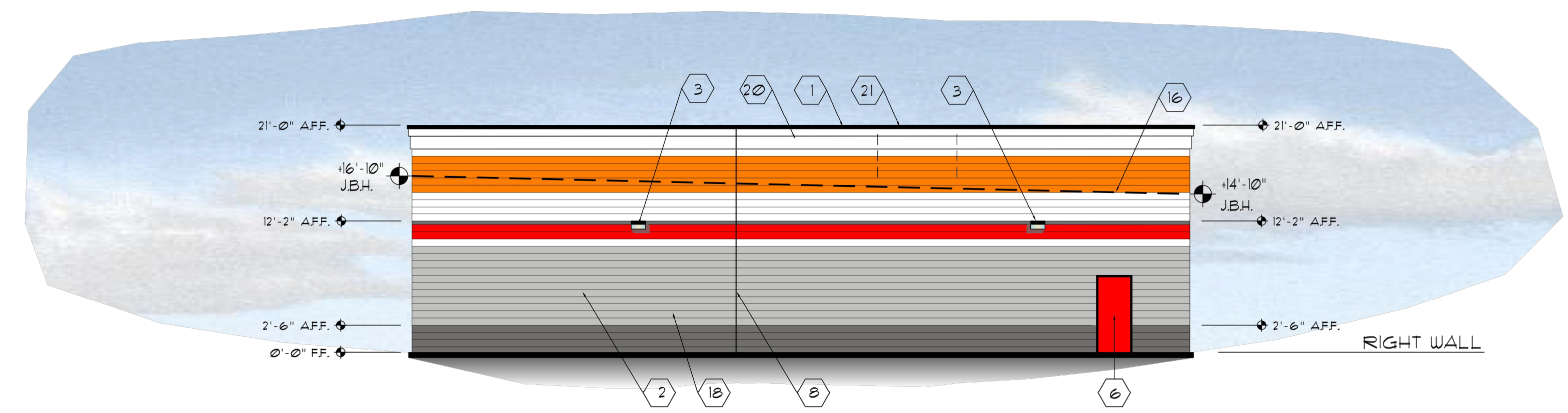
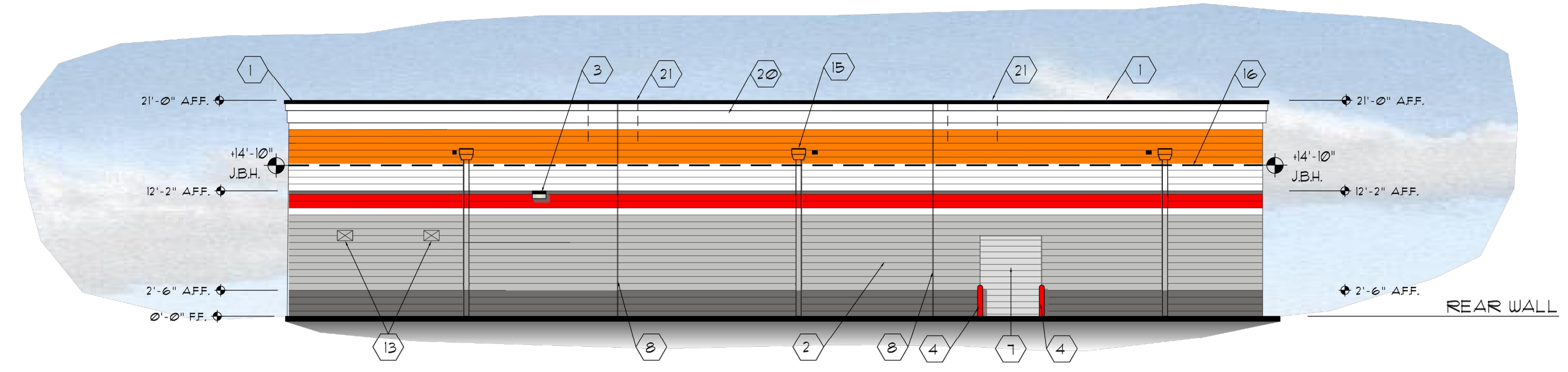
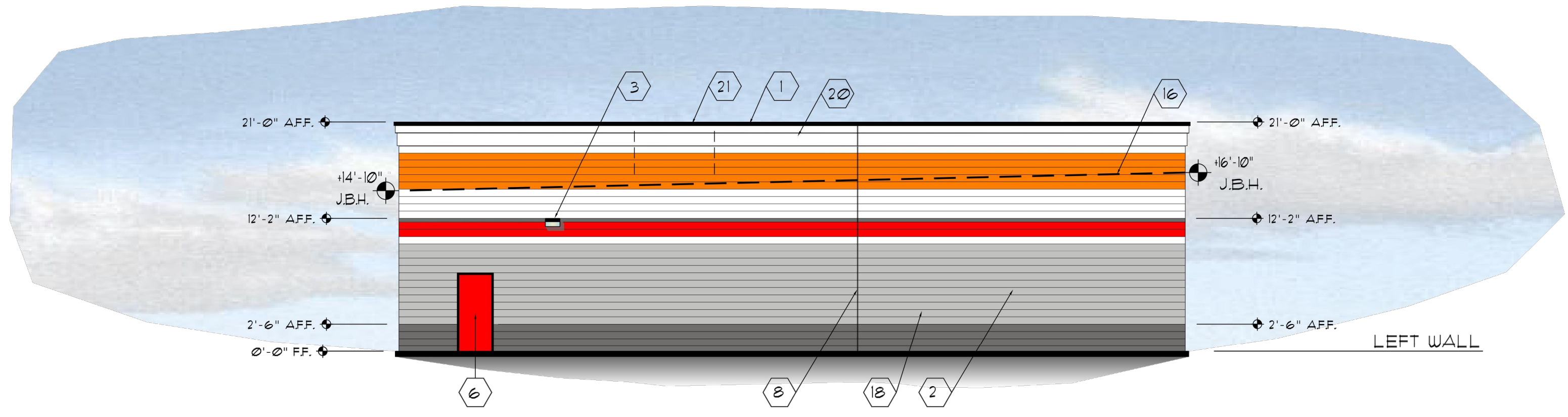
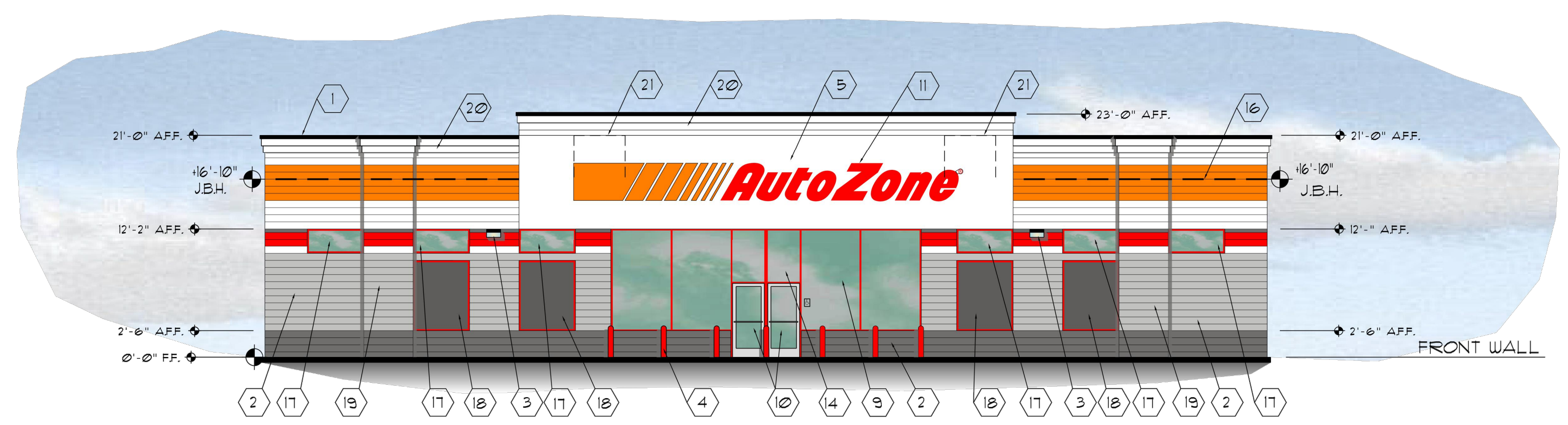
9 REAR GIRDER LINE COLUMN

REVISIONS	NO.	DATE	DESCRIPTION
	1	09-12-18	
	2		
	3		
	4		
	5		
	6		

AutoZone Store No. 4959
 LOT 1 BLOCK
 St. Francis MN 55070
 FLOOR PLAN / DOOR SCHEDULE / WALL DETAILS

Architect: Lew Ellis
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8707 FAX: (901) 495-8969
 For Bidding & Contractor Information Contact:
 McGraw - Hill Construction Tel. 615-884-1017
 www.construction.com

07/09/18
 65W2-L
A-1



- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - SEPERATE PERMIT
- 12 NOT USED
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 PAINT GUTTER AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR
- 16 ROOF LINE
- 17 CLERESTORY WINDOW - EVERGREEN GLASS
- 18 FAUX WINDOW - OPAQUE BLACK GLASS
- 19 FILASTER WITH 4" PROJECTION
- 20 FOAM CORNICE CROWN
- 21 SCREENED ROOF TOP UNITS

Color Elevation
 AutoZone Store #5100
 ST. Francis, MN

