

PROJECT TEAM:

ENGINEER KIMLEY-HORN AND ASSOCIATES, INC.

Kimley»Horn

PREPARED BY: ALAN L. CATCHPOOL, P.E. 767 N EUSTIS STREET, SUITE 100 ST PAUL, MN 55114 TELEPHONE (651) 645-4197

LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: RYAN A. HYLLESTED, PLA. 767 N EUSTIS STREET, SUITE 100 ST PAUL, MN 55114 TELEPHONE (651) 645-4197

GEOTECHNICAL ENGINEER CHOSEN VALLEY TESTING, INC. 245 ROSELAWN AVE. E., SUITE #29 ST. PAUL, MN 55117 TELEPHONE: (651) 756-7384 CONTACT: MATTHEW J. REISDORFER, P.E.

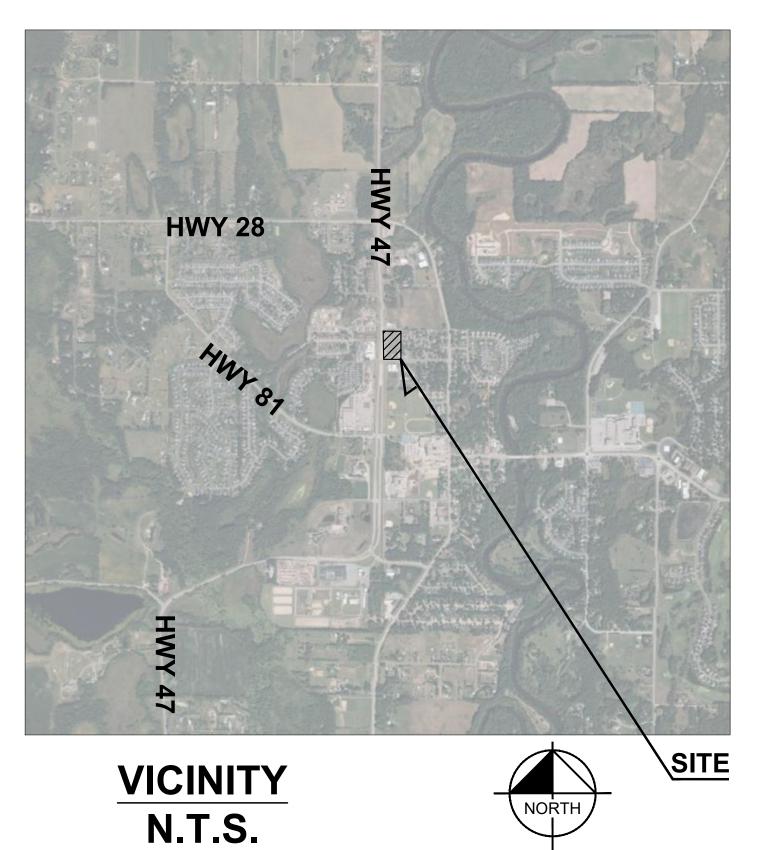
DEVELOPER / ARCHITECT AUTOZONE 123 S. FRONT STREET, 3RD FLOOR MEMPHIS, TENNESSEE 38103 TEL: (901) 495- 8701 CONTACT: WADE DAVIS

SURVEYOR

WESTWOOD PROFESSIONAL SERVICES 3701 12TH STREET NORTH, SUITE 206 ST. CLOUD, MN 56303 TELEPHONE: (320) 253-9495 CONTACT: CHRIS AMBOURN, P.L.S. CHRIS.AMBOURN@WESTWOODPS.COM

AutoZone Store Development **Final Engineering Plans Submissior**

for: AutoZone Store No. 5100 MN STATE HWY NO. 47, ST. FRANCIS, MN 55070



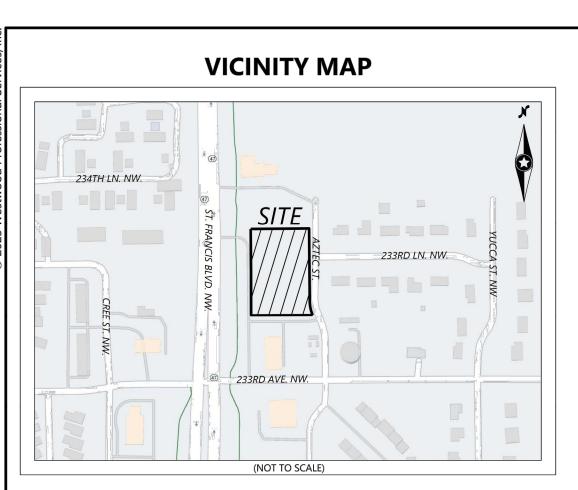
NOTES:

- CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
- 2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22x34 SHEET.
- 3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

	JJ	
	DRAWING INDEX	
Sheet Number	Sheet Title	BY
C000	COVER SHEET	EPARED SSIONAND
V100	EXISTING SURVEY	(T THIS PLAN, PORT WAS PREPARED ECT SUPERVISION AND NSED PROFESSIONAL
C100	GENERAL NOTES	∎⊲⊡ш∥
C200	SITE DEMOLITION PLAN	/ CERTIFY TH SATION OR RE NDER NY DIR
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1	EREBY ECIFIC OR U
C301	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2	
	EROSION AND SEDIMENT CONTROL DETAILS	KHA PROJECT 160743023.1.100
C302		
C400	SITE DIMENSION PLAN	KHA F 160743
C400 C401	TRUCK TURNING MOVEMENT	KHA F 160743
C400 C401 C402	TRUCK TURNING MOVEMENT SITE DETAILS	KHA F 160743
C400 C401 C402 C500	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN	KHA F 160743
C400 C401 C402 C500 C600	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN UTILITY PLAN	KHA F 160743
C400 C401 C402 C500 C600 L100	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN UTILITY PLAN LANDSCAPE PLAN	KHA F 160743
C400 C401 C402 C500 C600 L100 L101	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN UTILITY PLAN LANDSCAPE PLAN LANDSCAPE DETAILS	
C400 C401 C402 C500 C600 L100 L101 L200	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN UTILITY PLAN LANDSCAPE PLAN LANDSCAPE DETAILS IRRIGATION PLAN	
C400 C401 C402 C500 C600 L100 L101 L200 L201	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN UTILITY PLAN LANDSCAPE PLAN LANDSCAPE DETAILS IRRIGATION PLAN IRRIGATION DETAILS	
C400 C401 C402 C500 C600 L100 L101 L200	TRUCK TURNING MOVEMENT SITE DETAILS GRADING AND DRAINAGE PLAN UTILITY PLAN LANDSCAPE PLAN LANDSCAPE DETAILS IRRIGATION PLAN	DR CONSTRUCTION

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATED. INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES. INC.

PRE	PRELIMINARY - NOT FOR CONSTRUCTION	STRUCTION							
	ST FRANCIS		KHA PROJECT 160743023.1.100	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND					
SHEET	AUTOZONE		DATE 07/07/2023	THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.					
⁻ NUI	PREPARED FOR	COVER SHEET	SCALE AS SHOWN	Man althout	2023 KIMLEY-HORN AND ASSOCIATES, INC.				
	NITOZONE		DESIGNED BY RBW		767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114				
R			DRAWN BY RBW		PHONE: 651-645-4197				
	ST. FRANCIS MN		снескер ву ALC	DATE: 07/07/2023	WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY



SCH. B EXCEPTIONS

The following notes correspond to the numbering system of Schedule B, Part II of the title commitment mentioned hereon:

- 12. Easement for electric transmission or distribution lines or systems purposes, in favor of Anoka Electric Cooperative, a Minnesota cooperative association (formerly known as Anoka County Cooperative Light and Power Association), as contained in the Right-of-Way Easement dated January 30, 1939, filed March 10, 1939, as Document No. 96339, Book 162, Page 457, and as affected by Release of Easement dated March 16, 1999, recorded June 29, 1999, as Document No. 1439291.0. (APPLIES, PLOTTED HEREON)
- Easement for drainage purposes, in favor of the City of St. Francis, as contained within 13. Resolution No. 89-20, dated October 16, 1989, recorded December 8, 1989, as Document No. 874659, and the terms and conditions contained within. (DOES NOT AFFECT THE SUBJECT PARCEL)
- 14. Limitations of access to Trunk Highway No. 47, as shown by Minnesota Department of Transportation Right of Way Plat No. 02-29, recorded April 29, 2002, as Document No. 1670396. Land Surveyor's Certificate of Correction recorded February 10, 2004, as Document No. 1896759.0. (APPLIES, PLOTTED HEREON)
- 15. Drainage and utility easements as shown on the plat of Crown 2nd Addition, recorded September 20, 2016, as Document No. 2149164.002. (APPLIES, PLOTTED HEREON)
- Terms, provisions, restrictions and easements as contained in the Declaration of Easement 16. dated September 19, 2016, recorded September 20, 2016, as Document No. 2149164.003. (APPLIES, PLOTTED HEREON)

GENERAL NOTES

- 1. Plat Reference: Book 79, Abstract Page 26, Anoka County Land Records
- Bearings are based on the North American Datum of 1983 (2011 adjustment), Anoka 2. County Coordinate System.
- 3. Vertical data is referenced to the North American Vertical Datum of 1988.
- This survey was completed using Title Commitment GF No. NCS-1157486-MICH, with Effective Date November 29, 2022, provided by First American Title Insurance Company.
- A Gopher State One Call utility locate request was placed on 1/20/2023, under Ticket No. 230200199. Utilities notified were the City of St. Francis, CenturyLink, Connexus Energy, Midcontinent Communications, Center Point Energy, MNDOT, and Zayo Bandwidth.
- The tract shown hereon is located within the City of St. Francis and is zoned Business Park District (BPK). Building setbacks for the district that are applicable to this site are shown hereon. The Surveyor interprets the frontage along Aztec Street NW to be the rear of the property. The 25-foot setback shown hereon is based on this interpretation. The city requires a 35-foot front setback from local streets. Client to confirm with city which setback is required.
- The subject tract abuts and currently have vehicular access to Minnesota State 7. Highway No. 47.

LEGAL DESCRIPTION PER TITLE COMMITMENT

Real property in the City of St. Frances, County of Anoka, State of Minnesota, described as follows:

Lot 1, Block 1, Crown 2nd Addition, Anoka County, Minnesota, except Parcel 14, Minnesota Department of Transportation Right-of-Way Plat Numbered 02-29

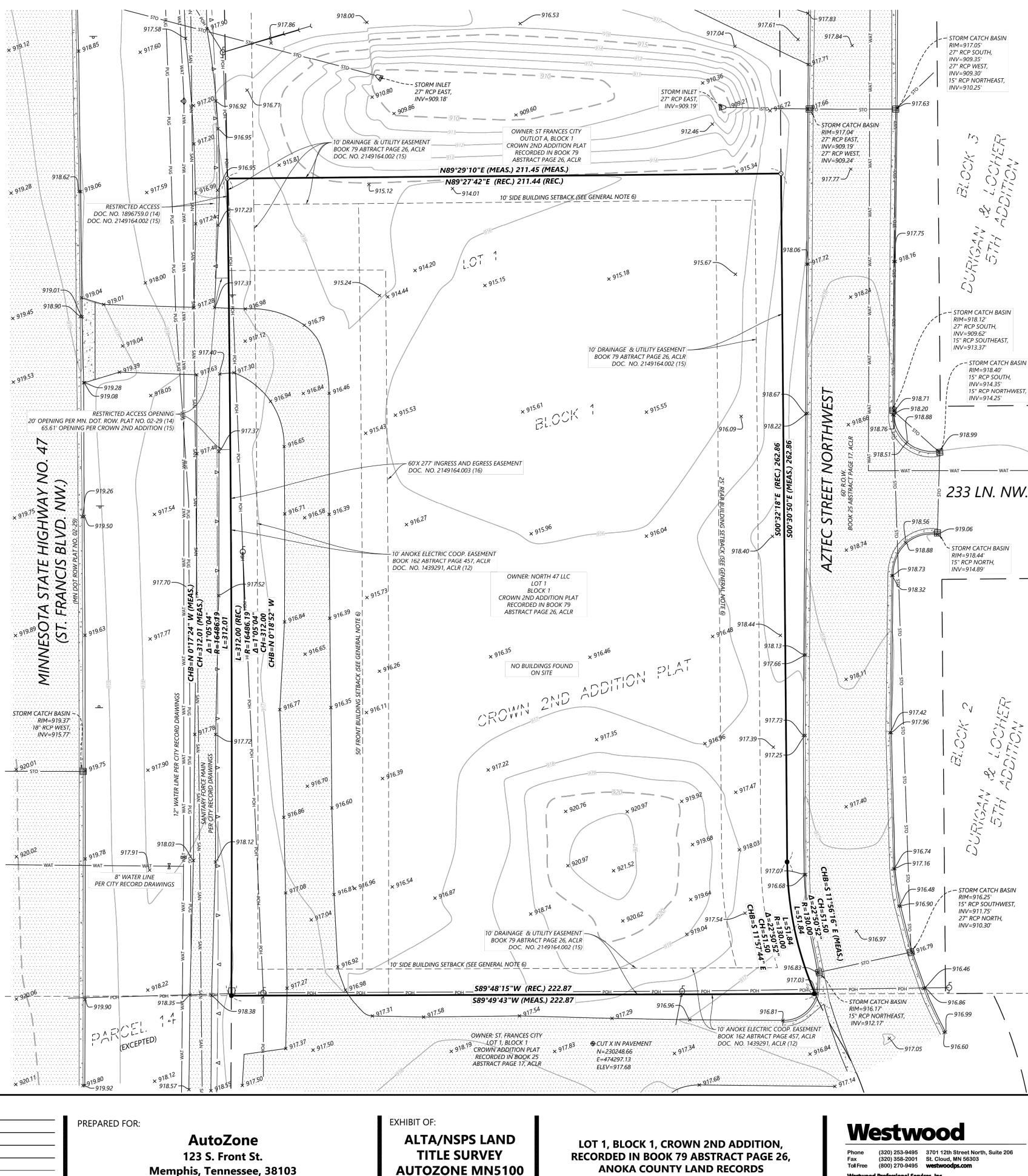
CERTIFICATION

To Autozone Development LLC., and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2023 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7a, 7b(1), 7(c), 8, 9, 10, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on 1/30/2023.



CHECKED:	CA
DRAWN:	AM
FIELD CREW:	JW
FIELD WORK DATE:	1/27/23



Memphis, Tennessee, 38103



LEGEND

•	FOUND 1/2" IRON ROD (LICENSE NO. 18420)	ģ	POWER POLE
0	SET 1/2" IRON ROD (43055) UNLESS OTHERWISE NOTED	(- - -	GUY ANCHOR SIGN
ACLR	ANOKA COUNTY LAND RECORDS		CURB & GUTTER
\$	BENCHMARK		CONCRETE SURFACE
E	ELECTRIC VAULT		BITUMINOUS SURFACE
*	STREET LIGHT		BOUNDARY LINE
¢	HYDRANT		RIGHT-OF-WAY LINE
Χ	WATER VALVE	Δ	RESTRICTED ACCESS LINE
	CATCH BASIN		BOUNDARY ADJACENT
	STORM SEWER CURB INLET		EASEMENT LINE
RE	RIM ELEVATION	POH	POWER OVERHEAD
INV	INVERT ELEVATION	PUG	POWER UNDERGROUND
× ^{918.10}	GROUND ELEVATION SHOT	SAN	SANITARY SEWER
(REC.)	RECORDED BEARING OR DISTANCE	WAT	WATER LINE
(MEAS.)	MEASURED BEARING OR DISTANCE	STO	SANITARY SEWER

TABLE A ITEMS

- 1. Monuments placed at all major corners of the boundary of the property.
- 2. The subject property has not been assigned an address.
- 3. The foregoing property is located within Zone X (Area of Minimal Flood Hazard) according to FEMA FIRM Panel No. 27003C0065E, dated December 26, 2015.
- 4. The subject property contains 66,313 sq. ft. or 1.522 acres.
- 5. Vertical relief is based on NAVD 1988, with one-foot contours shown hereon
- 7(a). No buildings were found on site.
- 7(b1). No buildings were found on site.
- 7(c). No buildings were found on site.
- 8. The surveyor has made a good faith effort to show all substantial, above ground, visible, and permanent features observed during the course of the survey. AT THE TIME OF SURVEY THERE WAS SNOW AND ICE COVERING ALL OR PARTS OF THE SUBJECT PROPERTY, FEATURES OBSCURED BY SNOW OR ICE MAY NOT BE SHOWN.
- 9. No parking spaces were found on site.
- 10. No division or party walls were designated by client, nor were any buildings found on site.
- 13. Names of adjoining owners of platted lands according to current public records are shown hereon
- 16. On the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions.
- 17. The surveyor is not aware of any proposed changes in street right of way lines. and there was no observable evidence of recent street or sidewalk construction or repairs at the time of survey.
- 18. Any plottable offsite easements provided in the Title Insurance Commitment are shown hereon.
- 20. 7150 AutoZone General Requirements.

SITE CONTACTS

Telephone, Fiber Optic and Cable:

CenturyLink - (877)-778-9140 Midcontinent Communications - (605)-271-0202 Zayo Bandwidth - (800)-961-6500

Electric:

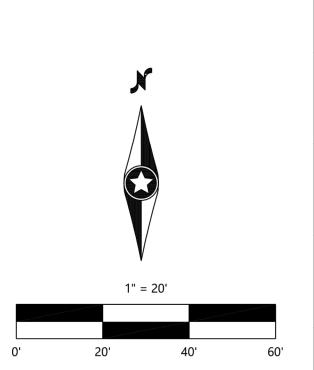
Westwood Professional Services, Inc.

CITY OF ST. FRANCIS, ANOKA COUNTY, MINNESOTA

Connexus Energy - (763)-323-4215 Natural Gas:

Center Point Energy - (800)-778-9140

Sanitary Sewer, Storm Sewer and Water: City of St. Francis - (763)-122-5219 MNDOT - (651)-366-5750





G	ENERAL CONSTRUCTION NOTES	EROSION CONTROL NOT
1.	THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.	1. THE STORM WATER POLLUTION PREVENTION PLAN, THE STANDARD DETAILS, THE PLAN OF THE SWPPP, PLUS THE PERMIT AND ALL
3.	PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING	2. ALL CONTRACTORS AND SUBCONTRACTO SHALL OBTAIN A COPY OF THE STORM WA POLLUTANT DISCHARGE ELIMINATION SYST WITH THEIR CONTENTS.
4.	AUTHORITIES. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.	3. BEST MANAGEMENT PRACTICES (BMP'S) AN REQUIREMENTS OR MANUAL OF PRACTIC ADDITIONAL CONTROLS AS DIRECTED BY TH
5.	THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ACSE 38/02, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA	4. THE CONTRACTOR IS SOLELY RESPONS AUTHORITIES HAVING JURISDICTION, AND REGULATIONS FOR THE DURATION OF CONS
	BY THE FHA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S	5. THE CONTRACTOR SHALL FIELD ADJUST NEEDED TO PREVENT EROSION AND OFF-SI AND RECORD ANY ADJUSTMENTS AND DE WITHIN THE SWPPP DOCUMENTS STORED IN
	RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND	 BMPS SHOWN ON THE EROSION AND SEDII PREVENTION PLAN, SHALL BE MAINTAINE JURISDICTIONS UNTIL NO LONGER REG STABILIZATION OF THE SITE. ALL EROSION // BY A CERTIFIED PERSON AT LEAST ONCE EV A 0.5-INCH OR GREATER RAINFALL EVENT.
6.	THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY	 7. EROSION & SEDIMENT CONTROL BMPS SHAL 7.1. INLET PROTECTION DEVICES AND BARR
	HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.	OF UNDERMINING OR DETERIORATION.7.2. ALL SEEDED AREAS SHALL BE CHECKED VEGETATION IS MAINTAINED. SEEDED A
7.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.	NEEDED. REFER TO THE LANDSCAPE PL7.3. SILT FENCES SHALL BE REPAIRED TO THE SHAL
3.	THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.	7.4. THE ROCK CONSTRUCTION ENTRANCE(PREVENT TRACKING OR FLOW OF MUD
).	ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.	ADDITIONS OF ROCK TOP DRESSING AS 7.5. THE TEMPORARY PARKING AND STORAG PARKING AND STORAGE). THIS MAY REP
0.	ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.	TEMPORARY PARKING CONDITIONS DEM
1.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE	7.6. PERFORM ALL MAINTENANCE OPERATIO CALENDAR DAYS FOLLOWING THE INSP
2.	ENGAGED BY THE CONTRACTOR. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL	1. ALL PAVING, CONSTRUCTION, MATERIALS,
	DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.	SHALL BE IN ACCORDANCE WITH LOCAL OF OR STATE DOT SPECIFICATIONS AND STA COUNTY REGULATIONS.
3.	ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.	2. ALL SIGNS, PAVEMENT MARKINGS, AND OTH ON UNIFORM TRAFFIC CONTROL DEVICES (M
	THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN	3. CONTRACTOR SHALL FURNISH ALL PAVEM STALLS, ACCESSIBLE PARKING SYMBOLS, A STRIPING WITHIN THE PARKING LOT AS SHO
	IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.	4. ALL EXPANSION JOINTS SHALL EXTEND THR
5.	SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.	 THE MINIMUM LENGTH OF OFFSET JOINTS A ALL JOINTS, INCLUDING EXPANSION JOINTS SEALANT.
6.	CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES,	7. THE MATERIALS AND PROPERTIES OF ALL THE A.C.I. (AMERICAN CONCRETE INSTITUTE
	CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.	8. CONTRACTOR SHALL APPLY A SECOND COA BY OWNER FOLLOWED BY A COAT OF GLASS
		9. ANY EXISTING PAVEMENT, CURBS AND/OR S CONTRACTOR AT HIS EXPENSE TO THE SATI
т	HIRD PARTY SUPPLEMENTAL INFORMATION	10. BEFORE PLACING PAVEMENT, CONTRACTO GRADING FOR ALL SIDEWALKS AND ACC
KI	MLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS ONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.	CONFORM TO CURRENT ADA STATE/NATION EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN CASE SHALL LONGITUDINAL SIDEWALK SLO STALLS OR AISLES EXCEED 2% (1.5% TAF
1.	BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY: WESTWOOD PROFESSIONAL SERVICES ADDRESS: 3701 12TH STREET NORTH, SUITE 206, ST. CLOUD, MN 56303	BUILDING DOORS AND GATES SHALL BE IMMEDIATELY IF ADA CRITERIA CANNOT BE CHANGE ORDERS WILL BE ACCEPTED FOR A
	PHONE: 320-253-9495 DATED: 01/30/2023	11. MAXIMUM JOINT SPACING IS TWICE THE DEF
2.	<u>GEOTECHNICAL EVALUATION REPORT</u> PERFORMED BY: CHOSEN VALLEY TESTING INC. ADDRESS: 245 ROSELAWN AVE. E, SUITE 29, ST. PAUL, MN 55117 PHONE: 651-756-7384 DATED: 01/11/2023	
3.	CONSTRUCTION TESTING TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO: • DENSITY TEST REPORTS • BACTERIOLOGICAL TESTS OF WATER SYSTEM • PRESSURE TEST OF WATER/SEWER • LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS • ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY	

NOTES

GRADING AND DRAINAGE NOTES

REVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL HE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

- NTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION ORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL ION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR
- 3MP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT FED BY THE PERMITTING AGENCY OR OWNER.
- RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE ION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND OF CONSTRUCTION.
- ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS ID OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG S AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS STORED IN THE JOB SITE TRAILER.
- AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION AINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL GER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL ROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF
- MPS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
- ND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS
- CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF SEEDED AREAS SHOULD BE FERTILIZED, WATERED AND RE-SEEDED AS SCAPE PLAN AND PROJECT SPECIFICATIONS.
- RED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE ICES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- ITRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC SSING AS CONDITIONS DEMAND.
- ID STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR S MAY REQUIRE PERIODIC ADDITIONS OF TOP DRESSING IF THE FIONS DEMAND.
- OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 THE INSPECTION.

ING NOTES

- ATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY OCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR
- , AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL EVICES (M.U.T.C.D) AND CITY STANDARDS.
- L PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING (MBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS OT AS SHOWN ON THE PLANS.
- END THROUGH THE CURB.
- JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
- N JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT
- NSTITUTE) MANUAL OF CONCRETE PRACTICE.
- COND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
- AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE THE SATISFACTION OF THE ENGINEER AND OWNER.
- NTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL E/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES NTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO WALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL HALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER ANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR TED FOR A.D.A COMPLIANCE ISSUES.
- THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- 2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
- CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
- BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY 5. INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION 6. OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY 7 NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED. THE CONTRACTOR SHALL 8 SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES 9. SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- 10. IF DEWATERING IS REQUIRED. THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- 11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO STATE DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND STATE DOT SPECIFICATIONS.
- S OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN 17. PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC 18. PROVIDE INSULATION OF UNDERGROUND ROOF DRAINS AND SANITARY SEWER SERVICES IF ADEQUATE GEOTECHNICAL EVALUATION REPORT AND CITY & STATE DOT SPECIFICATIONS.
 - 18. SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
 - 19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
 - 20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
 - 21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION
 - 22. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 - 23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
 - 24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - 25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

- CONSTRUCTION.

- SPECIFICATIONS.
- SPECIFICATIONS.

WATER STORM SEWER & SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS. EQUIPMENT. MACHINERY. TOOLS. MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.

3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.

4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.

ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.

ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

UNDERGROUND UTILITY LINES SHALL BE SURVEYED BY A STATE LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.

CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

10. BETWEEN WATER AND SEWER MANHOLES AND PIPES, CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10-FEET AND A MINIMUM VERTICAL SEPARATION OF 18-INCHES.

11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.

13. UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.

14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.

15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO

16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT

17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 1% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.

FROST DEPTH CANNOT BE PROVIDED.

19. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.

20. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF

21. A MINIMUM SEPARATION OF 5-FEET IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.

22. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.

23. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.

24. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE, REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND

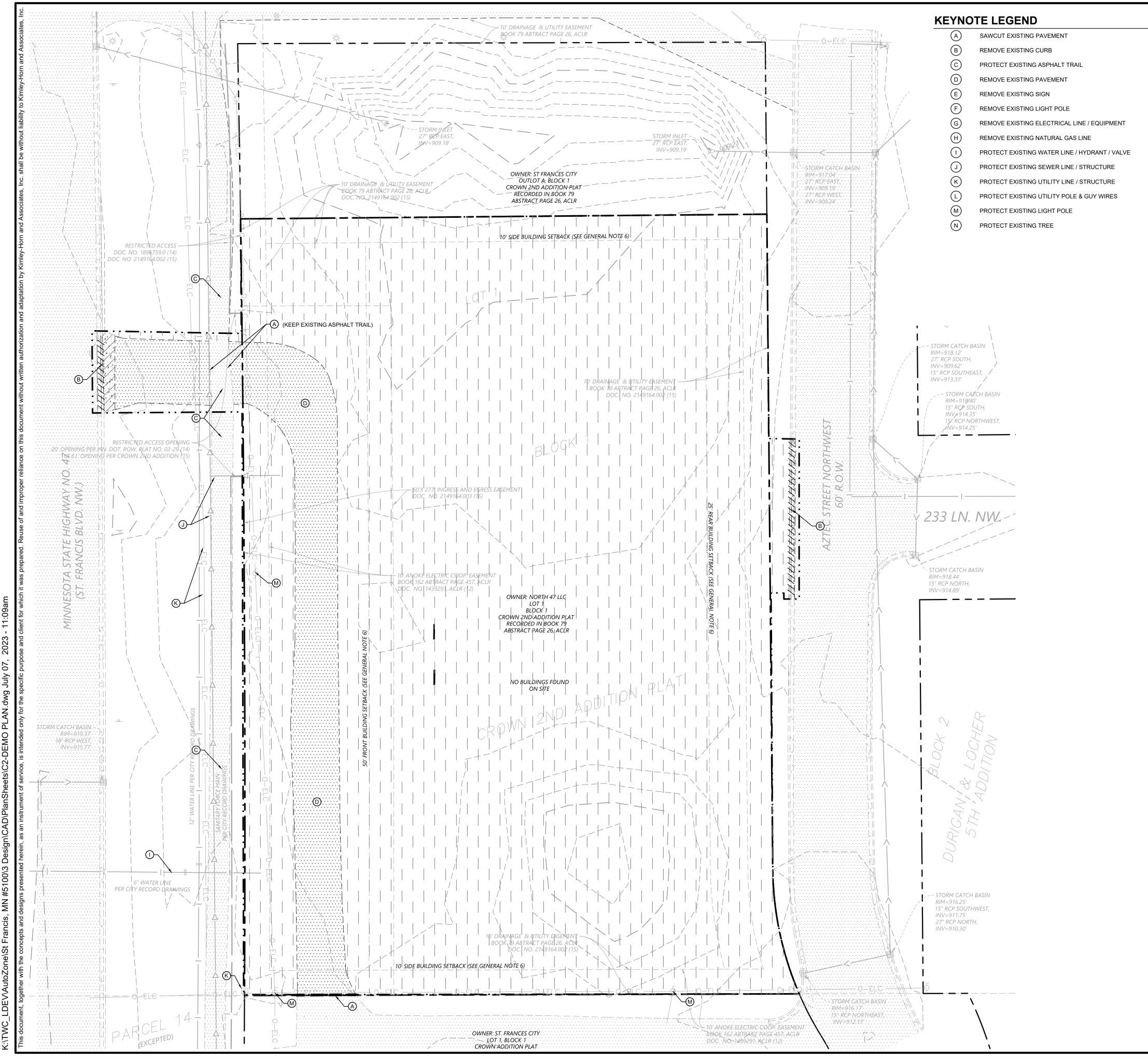
25. REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, MATERIALS

26. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.

27. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR FOOTING AND FOUNDATION PAD PREPARATION SPECIFICATIONS.

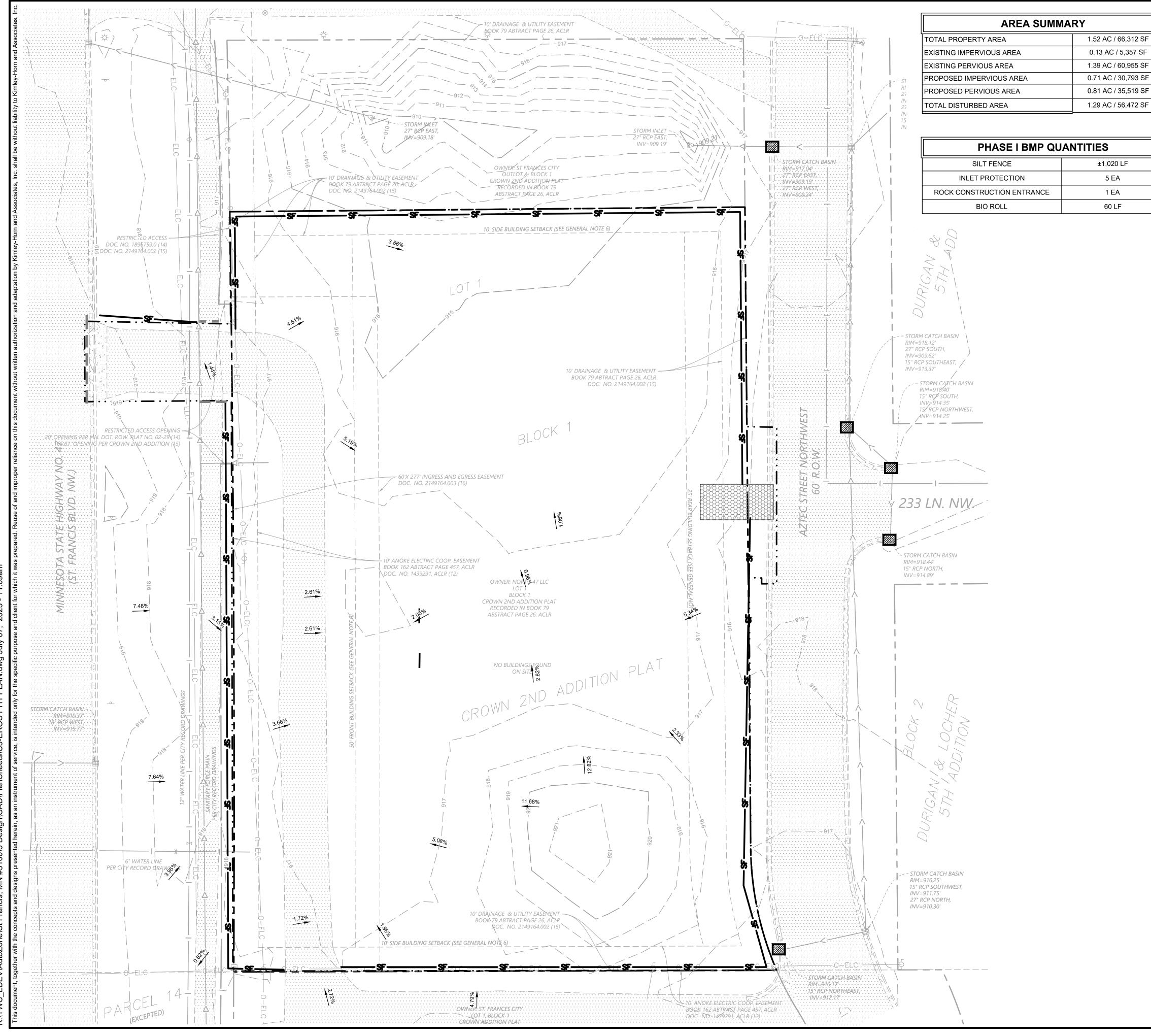
28. CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR ROUTING OF PROPOSED ELECTRICAL & COMMUNICATIONS SERVICES AND SITE LIGHTING LAYOUT.

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		GENERAL NOTES			
KHA PROJECT 1 160743023 1 100		U//U//ZUZ3 N SCALE AS SHOWN	DESIGNED BY RBW -	DRAWN BY RBW	CHECKED BY ALC DATE: _
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY	ME UK UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF	MINNESOTA.	War Lauryar	ALAN L. CAI CHPOUL	MIX 07/07/2023 LIC. NO. 47969
		2023 KIMI EV-HORN AND ASSOCIATES INC	767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114	PHONE: 651-645-4197	WWW.KIMLEY-HORN.COM
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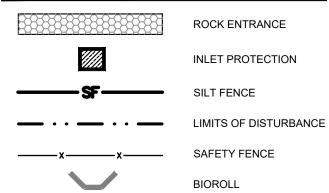
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D	EMOLITION PLAN NOTES]					BΥ
1.	THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.	-					DATE
2.	THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.						S
3.	THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.						REVISIONS
4.	THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.						RE
5.	THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.						No.
6.	EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEDING WITH THE PROPOSED WORK.	ľ	5			14	
7.	ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.				SOCIATES, INC.	ST. PAUL, MN 55114 4197	COM
8.	CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.				2023 KIMLEY-HORN AND ASSO	S 7	www.kimley-horn.
9.	CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.		3	D	ИГЕУ-НОІ	STREET, 3 PHON	WWW.KI
10.	PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.		5		2023 KIN	EUSTIS S	
11.	CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.					767 E	
12.	IF REQUIRED, THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.	ł	RED BY AND	AL TE OF			47969
14.	ALL UTILITIES SHOWN ARE EXISTING UTILITIES. REFER TO THE SITE SURVEY FOR EXISTING INVERT AND RIM ELEVATIONS.		SION	DESSIONAL THE STATE		JL	479
15.	IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.		'HAT THIS PLAN REPORT WAS PI IRECT SUPERVI	LAWS OF	alling	Ω	MN LIC. NO.
16.	IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.		ertify Th <i>i</i> Ion or re Er my dire	M A DULY LICEN ER UNDER THE OTA.	Man	ALAN L.	07/07/2023
	CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINTILE IS ENCOUNTERED ON SITE; ACTIVE DRAINTILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER. EGEND		I HEREBY CE SPECIFICAT ME OR UNDI	THAT I AM A ENGINEER L MINNESOTA			DATE:
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LEGEND



EROSION CONTROL PLAN NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- 4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- 5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- 6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- 7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- 8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 12. STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
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- 15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
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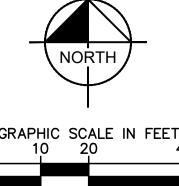
SWPPP UPDATES & AMENDMENTS

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PHASE 1 SEQUENCE OF CONSTRUCTION

- 1. INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT
- EXISTING STORMWATER INLETS. 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (IF REQUIRED)
- 3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT AND STABILIZE DIVERSIONS AND SEDIMENT BASINS.
 CLEAR AND GRUB THE SITE.
- BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTORES.
 TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

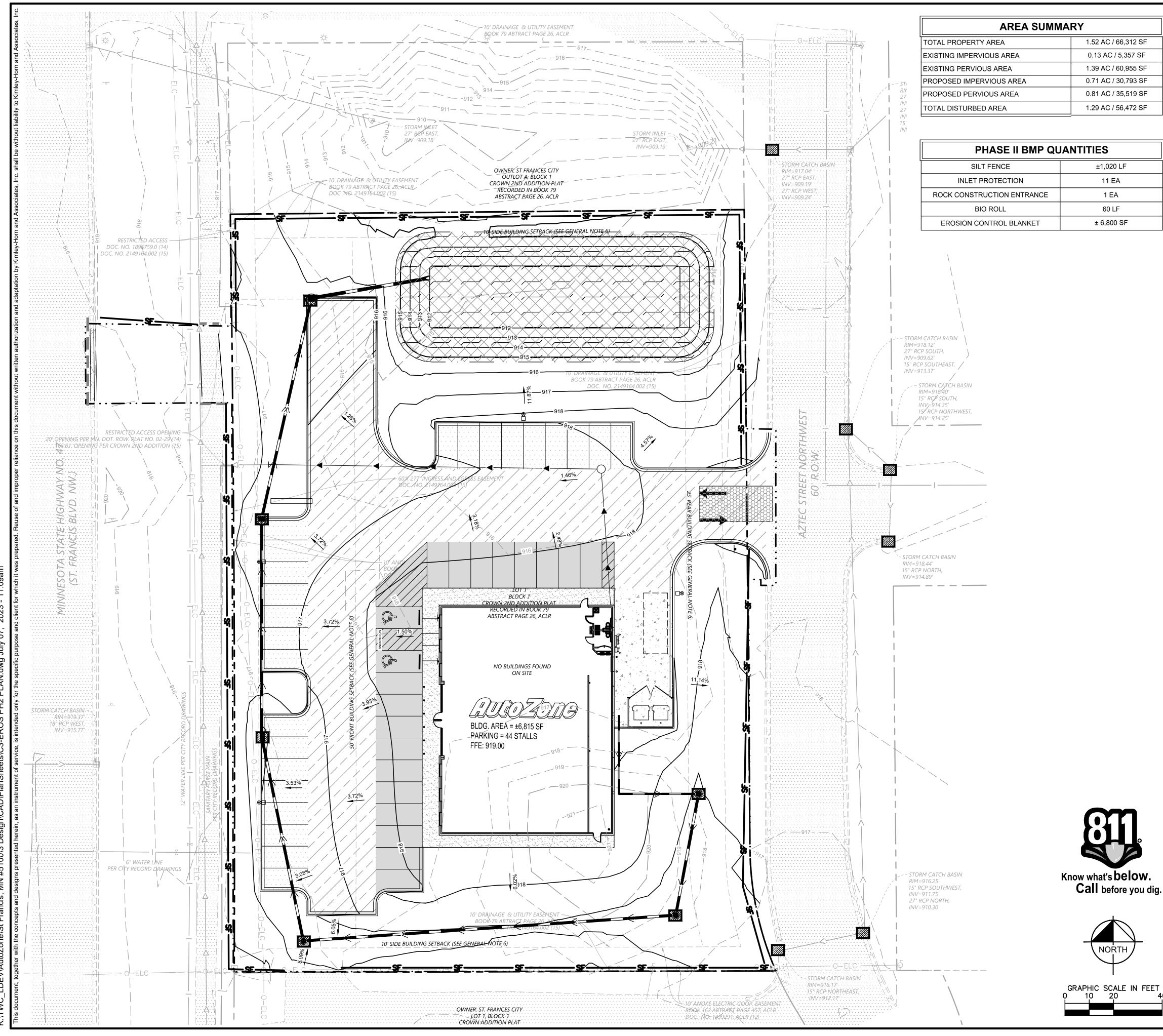
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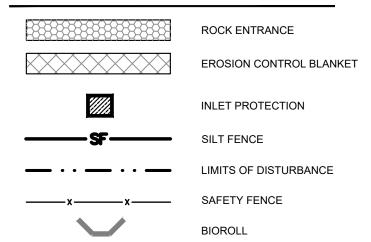
Know what's **below. Call** before you dig.

FROSI	I		5		
EROSION AND	SEDIMENT		CONIROL PLAN -		PHASE 1
KHA PROJECT 160743023-1-100	DATE DATE 07/07/2023	SCALE AS SHOWN	DESIGNED BY RBW	DRAWN BY RBW	СНЕСКЕD ВУ ALC
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY	ME OK UNDER MT UIREGT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MININESCTE	Man Allow			ALC DATE: 07/07/2023 LIC. NO. 47969
	NIMIev » Torn	2023 KIMLEY-HORN AND ASSOCIATES, INC.	767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114	PHONE: 651-645-4197	WWW.KIMLEY-HORN.COM
					No.
					REVISIONS
					DATE



VC_LDEV\AutoZone\St Francis, MN #5100\3 Design\CAD\PlanSheets\C3-EROS PH2 PLAN.dwg July 07, 2023 - 1

LEGEND



EROSION CONTROL PLAN NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- 4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- 5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- 6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- 7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- 8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
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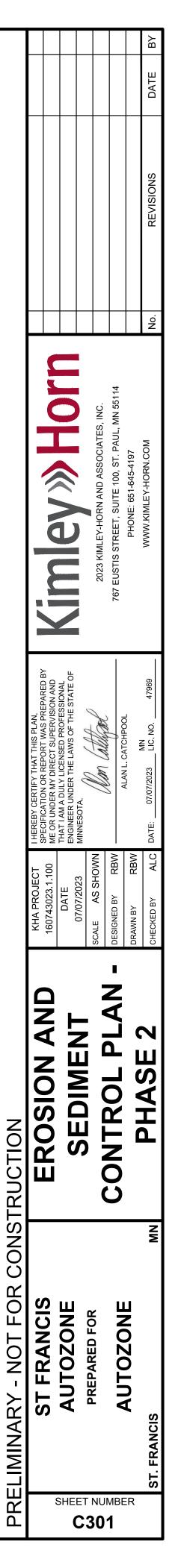
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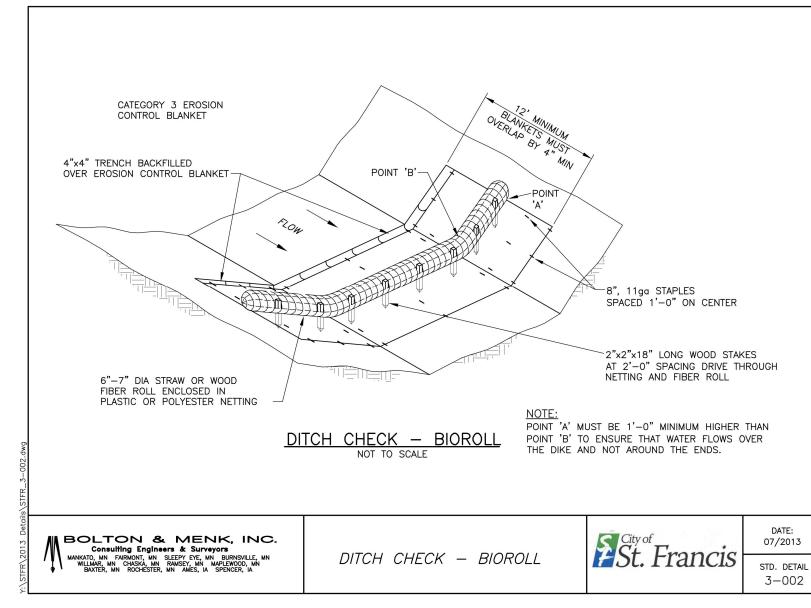
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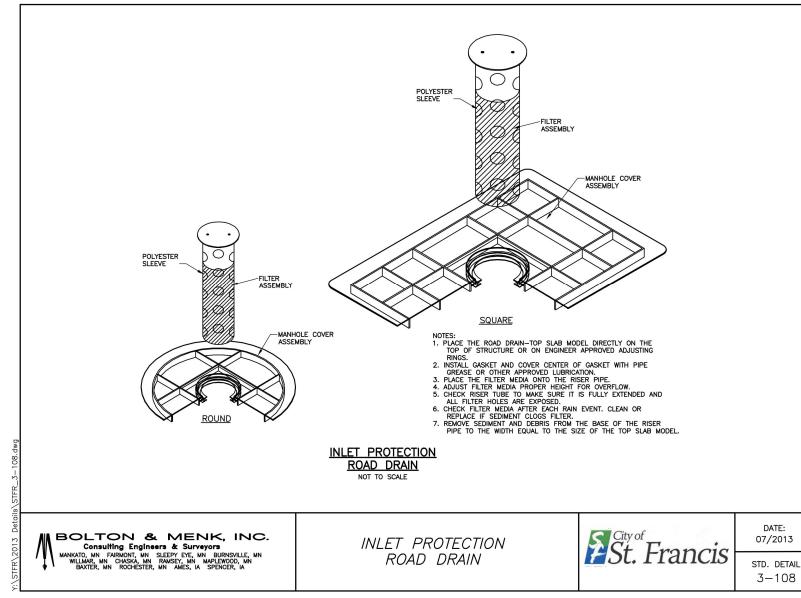
PHASE 2 SEQUENCE OF CONSTRUCTION

- 1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
- 2. CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING
- UNDERGROUND STORMWATER MANAGEMENT SYSTEM. INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES
- AS EACH STRUCTURE IS CONSTRUCTED. 4. COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS
- THEY ARE BROUGHT TO FINAL GRADE. 5. PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.
- CONSTRUCT PAVEMENTS, CURB & GUTTER, AND SIDEWALKS.
- AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
 COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING,
- COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
 WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE
- 9. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL

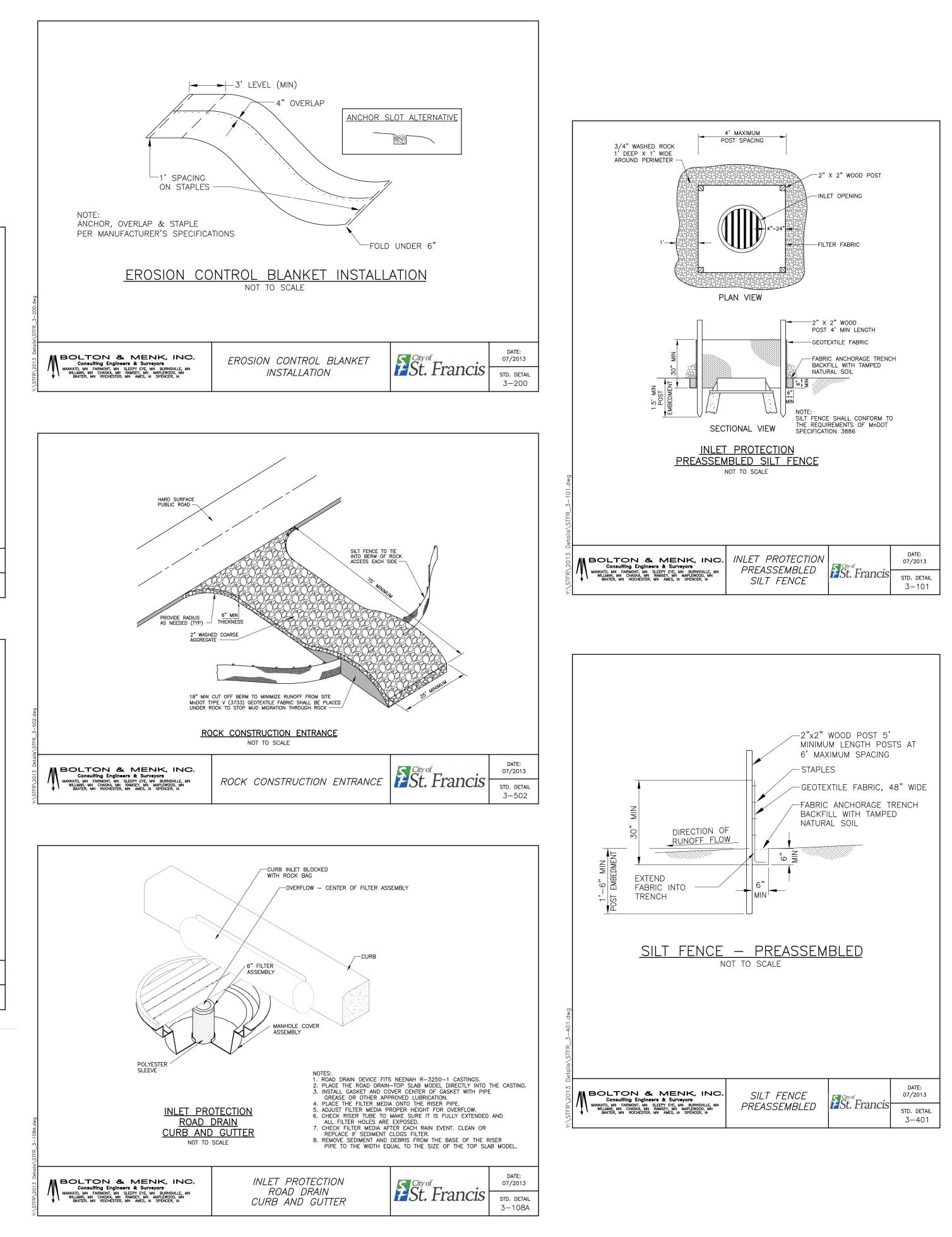
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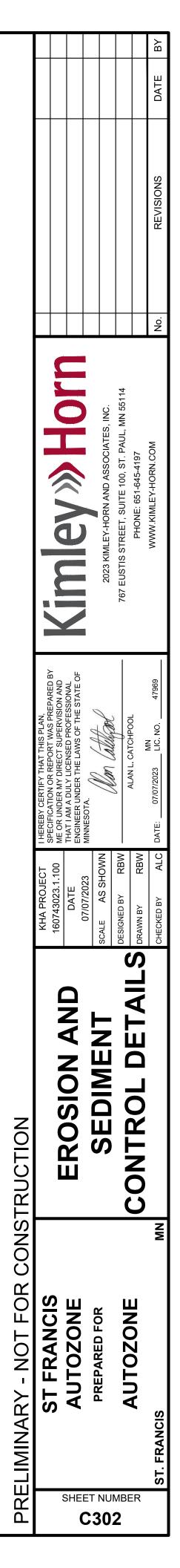


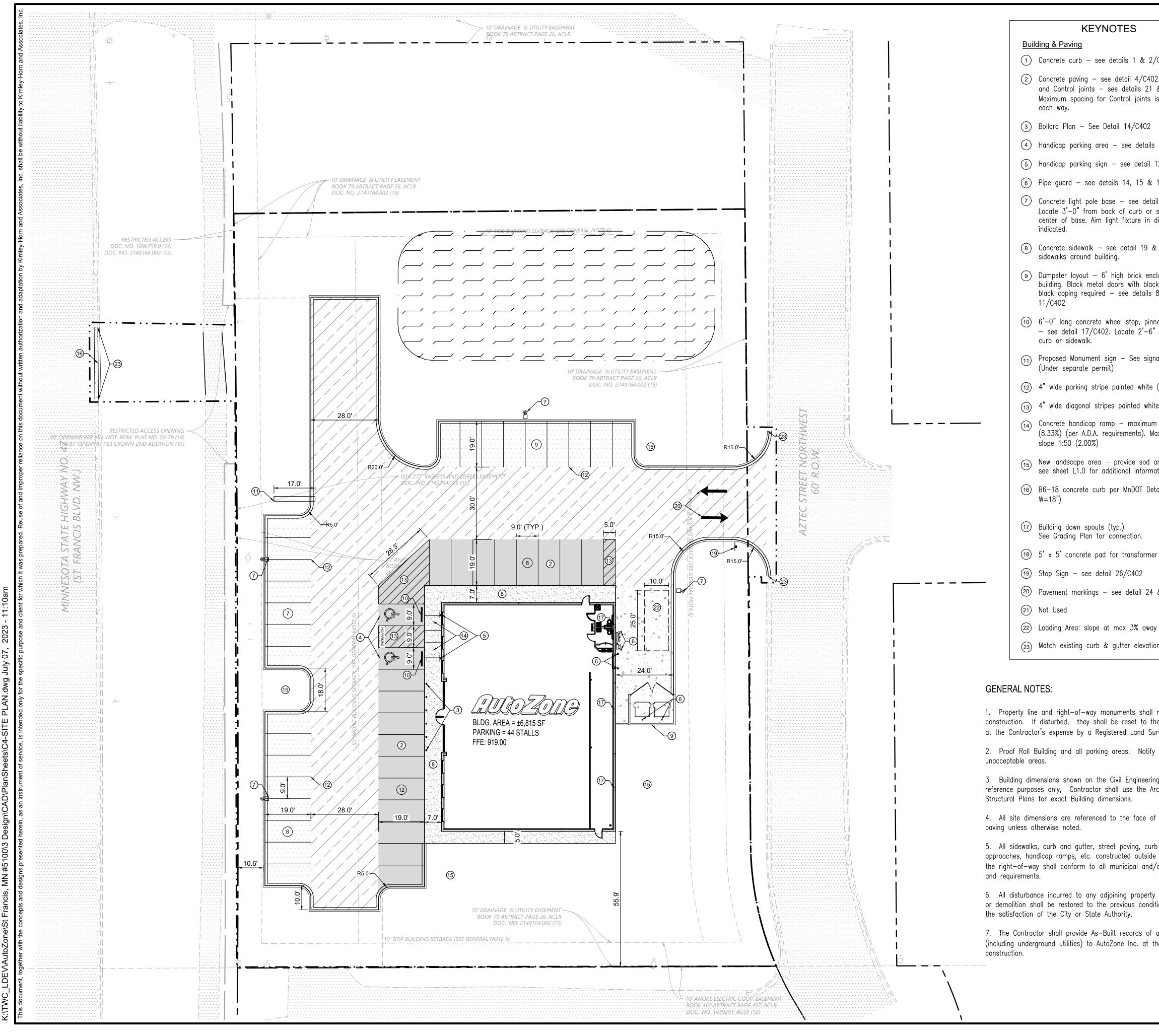




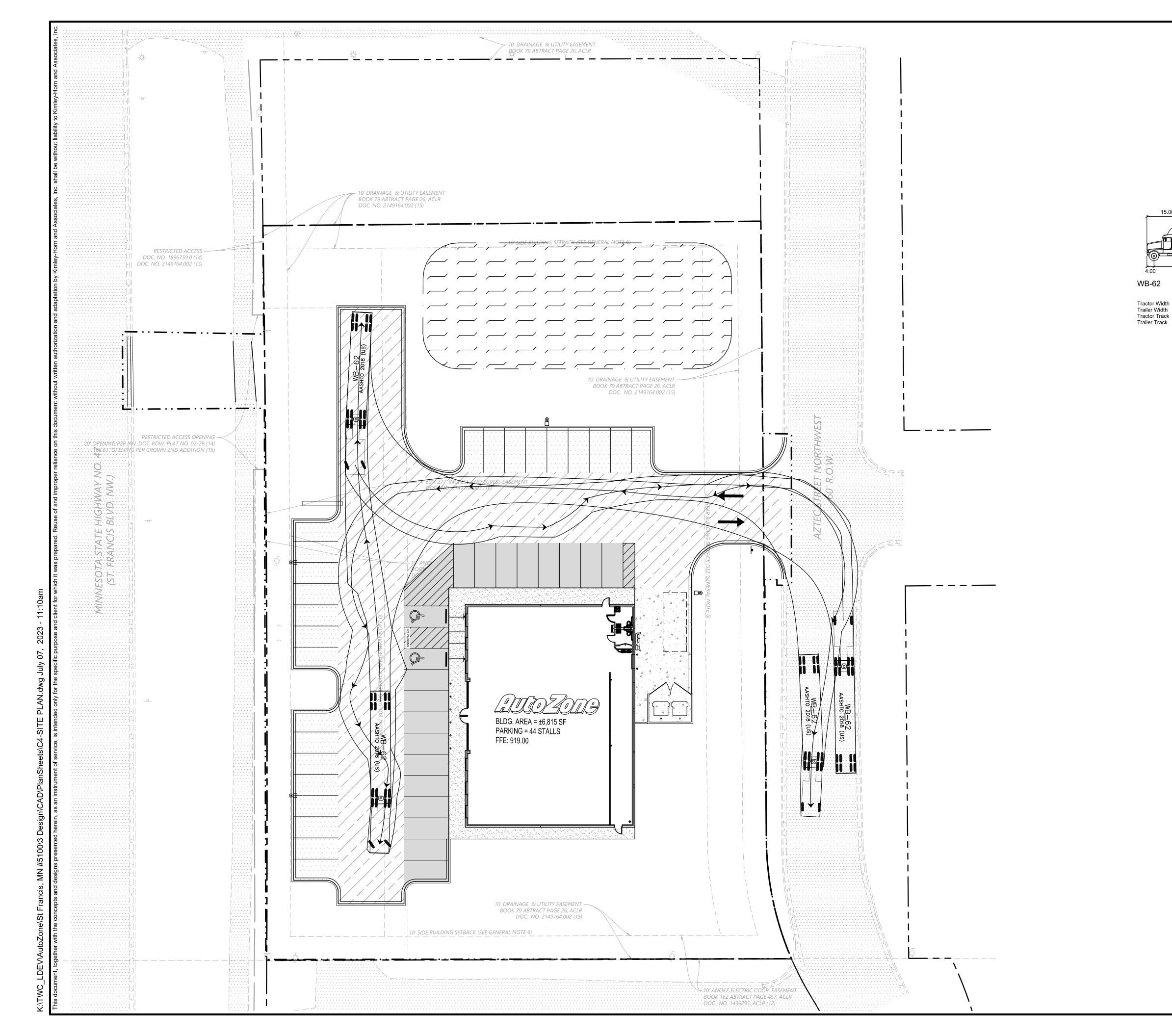


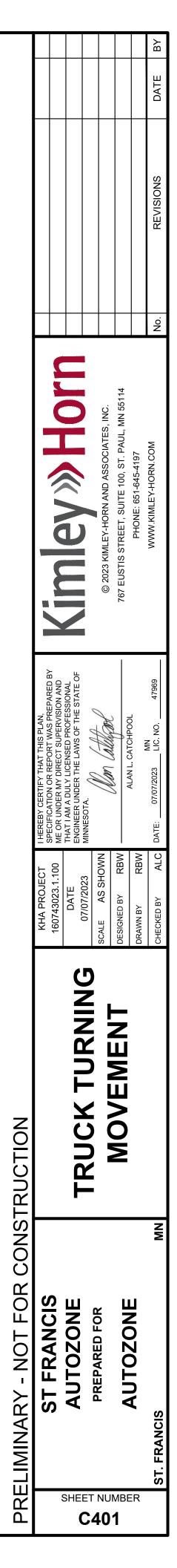


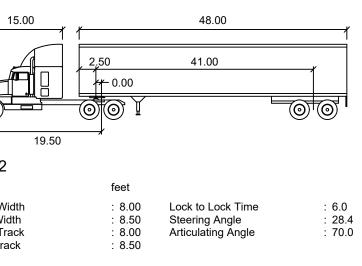


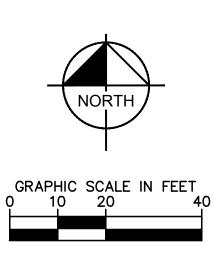


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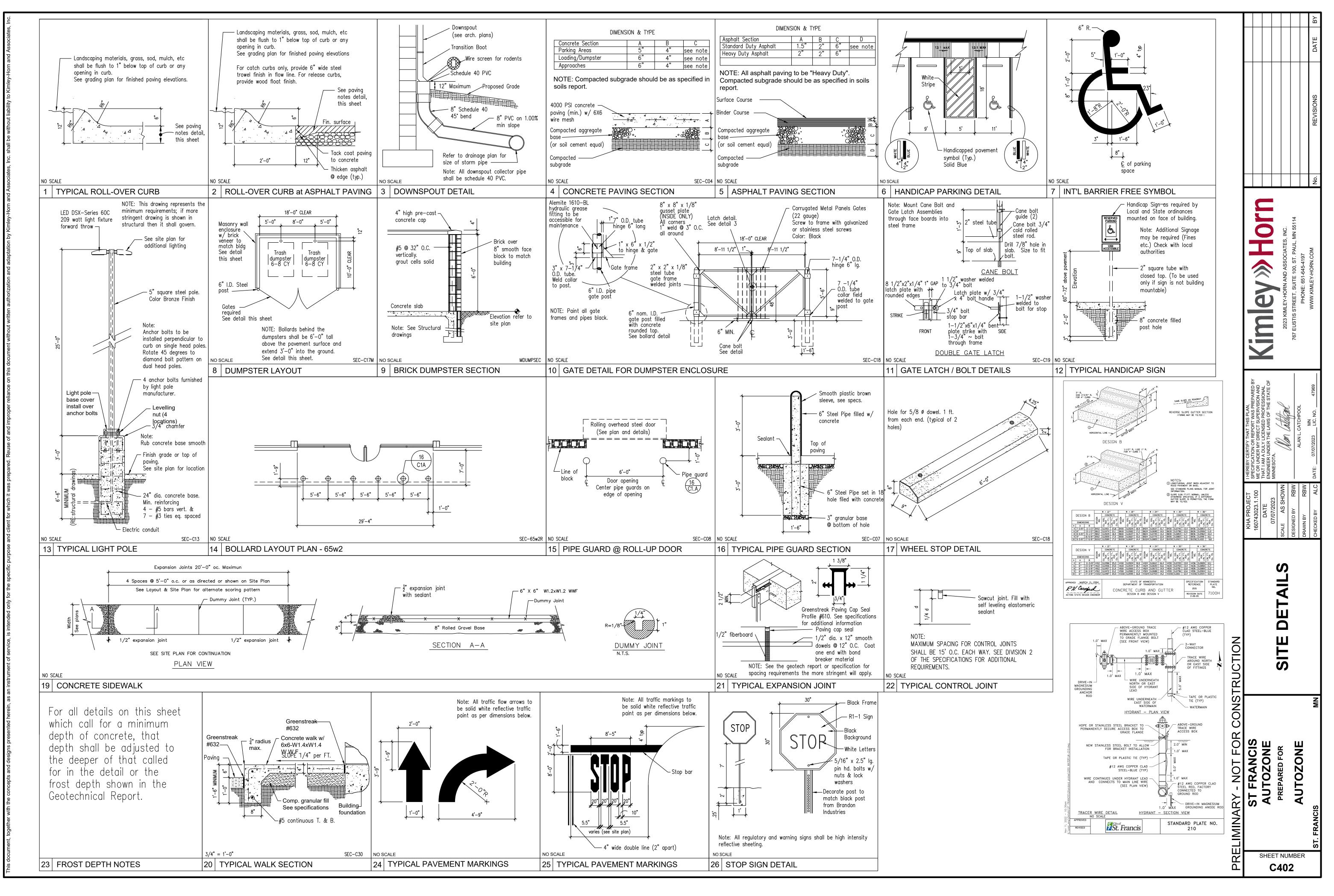




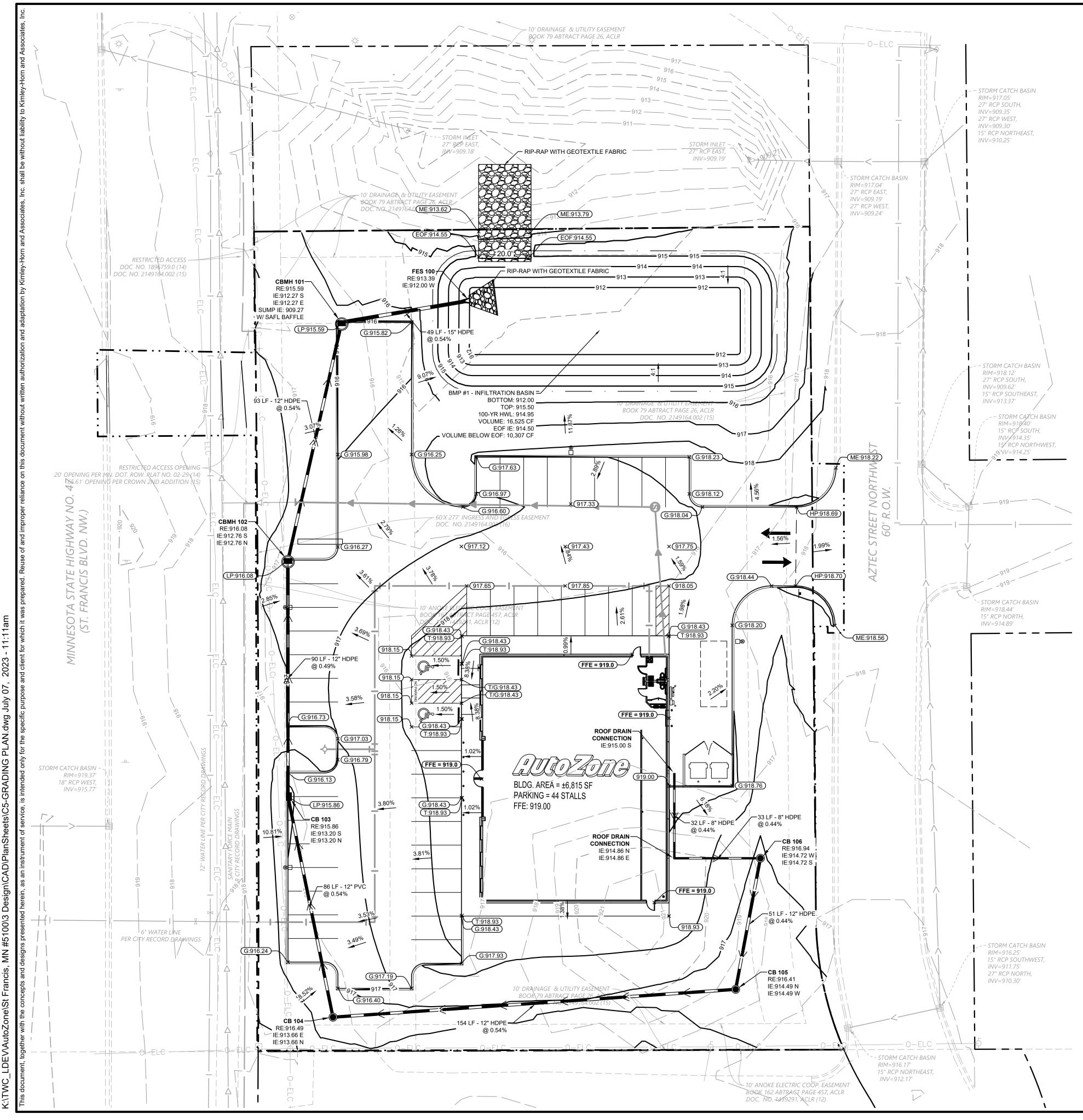




Know what's **below. Call** before you dig.

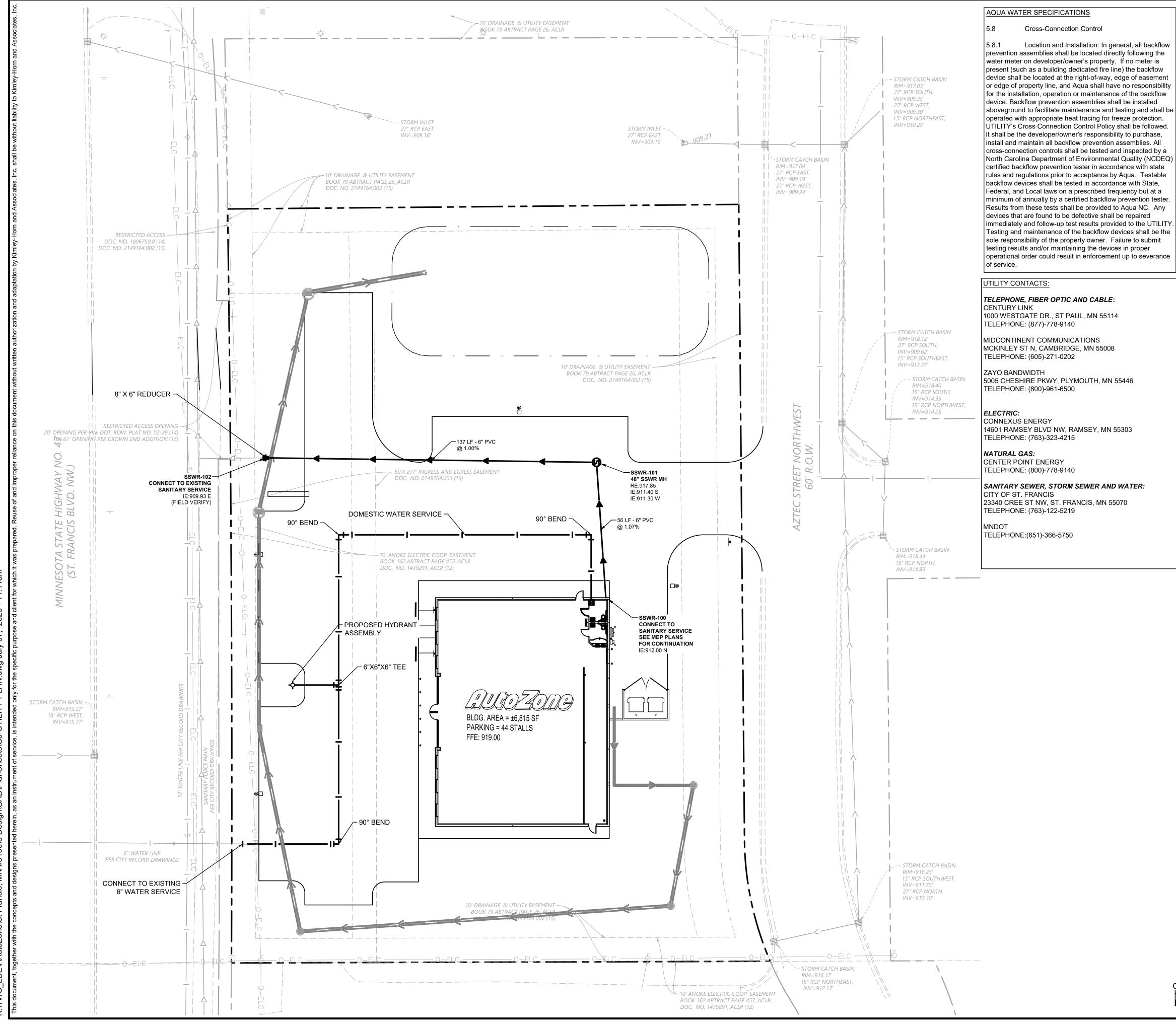


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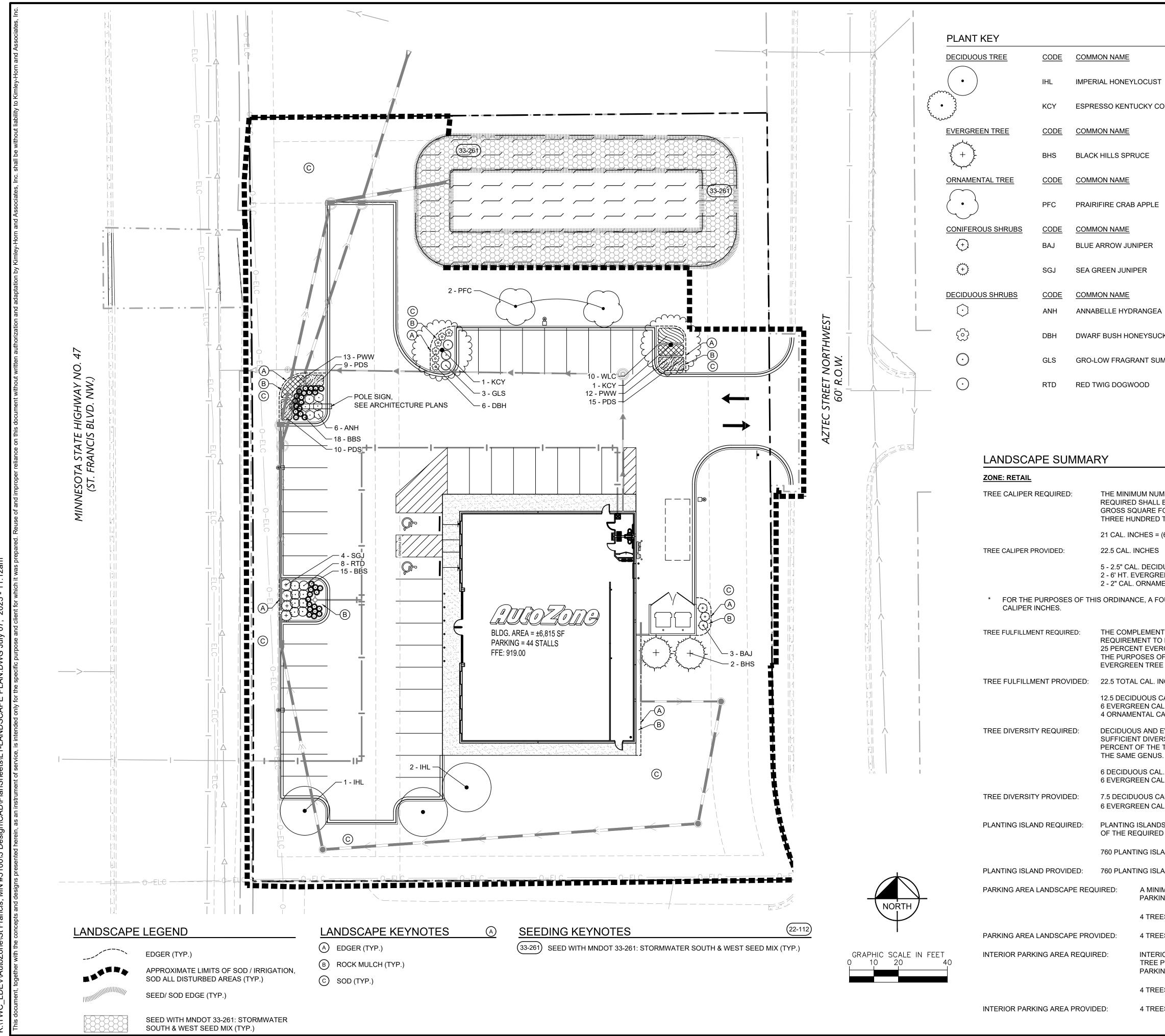
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	MAINTAIN A MINIMUM S GRADIENT AND CONST GUTTER, AND "OUTFAL	RUCT "INFALL" CURB \ L" CURB WHERE PAVE	WHERE PAVEME MENT DRAINS A	NT DRAINS TOWAR WAY FROM THE GL	D THE JTTER.				NMOHS		
	INSTALL A MINIMUM OF CONCRETE CURB & GU GRADING FOR SIDEWA	TTER, SIDEWALKS, AN	ID TRAILS UNLES	S OTHERWISE DET			KHA PROJECT 160743023.1.100		AS S	37	
	DRIVEWAYS, SHALL CC	NFORM TO CURRENT	STATE & NATION		DS:		KHA 1 16074:		SCALE	DRAWN BY	
	ACCESSIBLE RAMP SLO SIDEWALK CROSS-SLO LONGITUDINAL SIDEWA ACCESSIBLE PARKING DIRECTION. A MAXIMUM	PES SHALL NOT EXCE LK SLOPES SHALL NO STALLS AND ACCESS	ED 2.0%. T EXCEED 5.0%. AISLES SHALL N	OT EXCEED 2.0% IN	I ANY				Z	2	
	SIDEWALK ACCESS TO COMPLIANT. NOTIFY EN LOCATION PRIOR TO PA ACCEPTED FOR ADA C	NGINEER IMMEDIATEL	Y IF ADA CRITER	A CANNOT BE MET				AND		Ì	
	UPON COMPLETION OF AREAS DISTURBED BY CONDITION. LANDSCAF OF TOPSOIL.	CONSTRUCTION TO M E AREAS SHALL BE R	ATCH OR EXCEE E-VEGETATED W	D THE ORIGINAL ITH A MINIMUM OF	4-INCHES			U	Ц		
14.	EXCAVATE DRAINAGE REFER TO THE UTILITY SEWER, WATER MAIN, A	PLANS FOR LAYOUT	AND ELEVATIONS	FOR PROPOSED S		_		RADIN		Ç	
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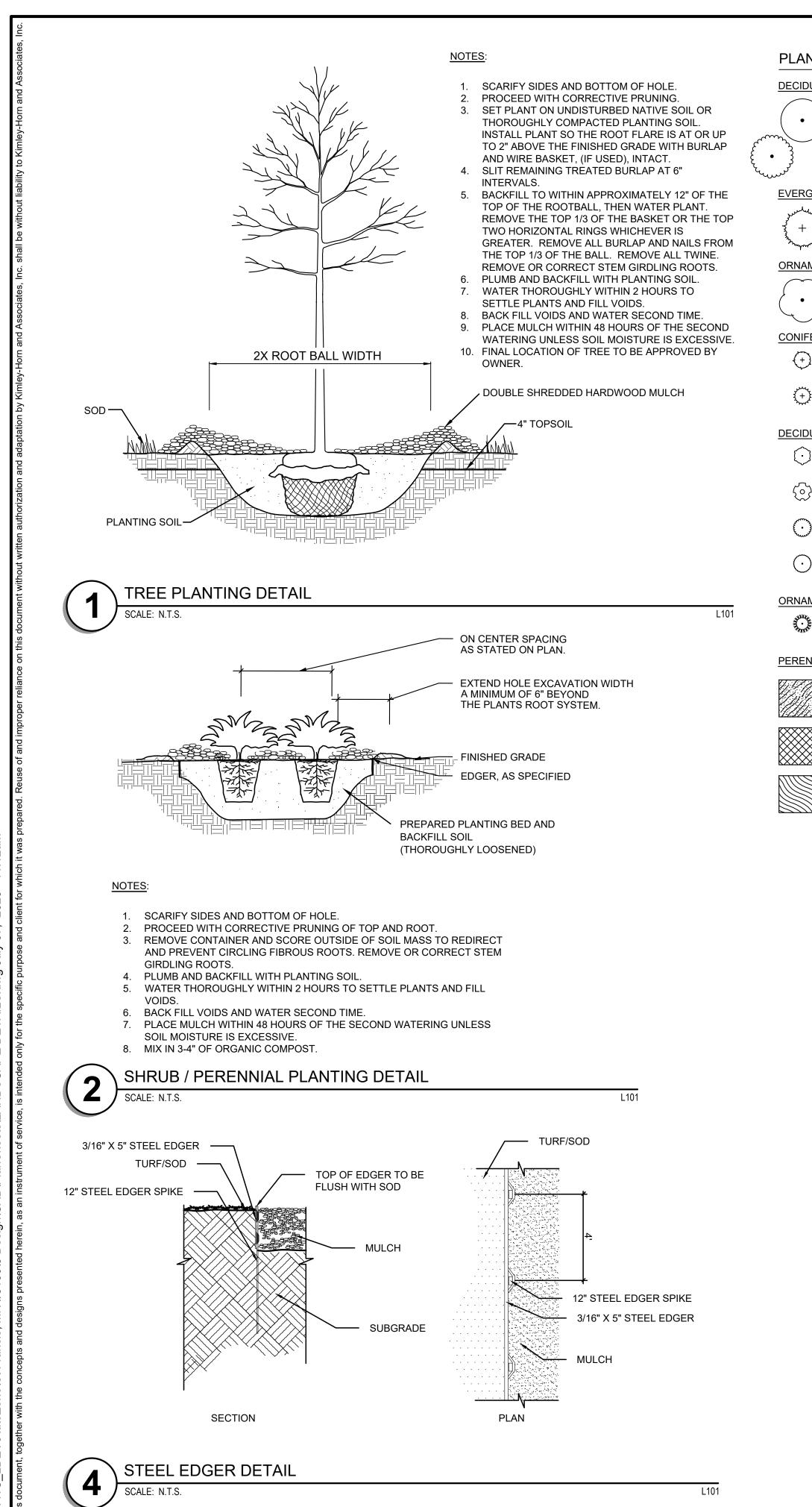
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	TILITY PLAN							No.
1.	INSTALL UTILITIES IN AC PLUMBING CODE, AND E		CABLE CITY SPECIFICATIONS, STATE REMENTS.					
2.			CATING SERVICE AT LEAST TWO IDERGROUND UTILITY LOCATIONS.					
4. 5.	CONTRACTOR IS RESPO		ONTAL AND VERTICAL CONTROL.				MIN 55114	
6	6" PVC SCHEDULE 40	PER ASTM D-1785				~~		
3.		TILE IRON PIPE PER AW					SI. PAUL, 4197	ORN.COM
5.	AND SIZE OF THE EXIST	ING PIPE(S) PRIOR TO IN R OF ANY DISCREPANCI	NE, FIELD VERIFY THE LOCATION, DEPTH, ISTALLATION OF THE NEW LINES. NOTIFY ES OR VARIATIONS IMPACTING THE		$\langle \langle \rangle$		100, 645-	
	PLACE AND COMPACT A UNDERGROUND UTILITIE MAINTAIN A MINIMUM OF	ES. MINIMUM TRENCH W			e	2023 KIMLEY-HORN	SIREEL, S	WWW.KIMLEY-H
3.		WITH STAINLESS STEEL	CHANICAL JOINTS WITH RESTRAINTS SUCH OR COBALT BLUE BOLTS, OR AS ROJECT DOCUMENTS.		E	2023 KII	/6/ EUSIIS SIREEI, SUILE PHONE: 651-	
€.	WATER LINES (OUTSIDE	EDGE OF PIPE TO OUTS	TON WHERE SEWER PIPE CROSSES SIDE EDGE OF PIPE OR STRUCTURE). ETWEEN SEWER PIPE AND WATER LINES.		V		9/	
0.	STORM LINES AND GAS SANITARY PIPE MATERIA MECHANICAL JOINTS AT CROSSING. THE WATER FASTENERS AS REQUIR	LINES (OR ANY OBSTRU AL SHALL BE PVC SCHED LEAST 10 FEET ON EITH LINE SHALL HAVE MECH ED TO PROVIDE A MINIM	EN WATER LINES, SANITARY LINES, CTION EXISTING AND PROPOSED), THE DULE 40 OR PVC C900 AND HAVE HER SIDE OF THE CENTER LINE OF THE HANICAL JOINTS WITH APPROPRIATE IUM OF 18-INCH VERTICAL SEPARATION NSI 21.11 (AWWA C-151) (CLASS 50).		PARED BY ON AND SIONAL STATE OF			47969
1.			LED, INSPECTED AND APPROVED PRIOR		AN, S PRE S VISIO DFES: THE	Ja	OOL	<u>.</u>
2.	IN PAVEMENT AREAS, R FINISHED SURFACE GRA	ADE. IN GREEN AREAS, F	GS TO BE FLUSH WITH PROPOSED RAISE MANHOLE CASTINGS TO BE ONE NSTALL A WATERTIGHT LID.		THAT THIS PLAN R REPORT WAS P DIRECT SUPERVI LICENSED PROFE THE LAWS OF TH	1 Lally	ALAN L. CATCHPOOL	B LIC. NO.
3.	CONNECTIONS AND ROOM	OF DRAINS TO THE INTE	ZE AND ELEVATION OF UTILITY SERVICE RIOR BUILDING SYSTEMS. BACKFLOW RS ARE LOCATED INSIDE THE BUILDING.		CERTIFY ATION OR NDER MY I A A DULY I R UNDER	Um	ALAN	07/07/2023
14.	EXISTING UTILITIES AS S VARIOUS UTILITY COMP FIELD. THE INFORMATIO CONTRACTOR MUST CA BEFORE ANY EXCAVATION	SHOWN ON THESE PLAN PANIES, AND WHERE POS ON IS NOT TO BE RELIED ALL THE APPROPRIATE U ON TO REQUEST EXACT	AT THE LOCATION AND/OR ELEVATION OF S IS BASED ON RECORDS OF THE SSIBLE, MEASUREMENTS TAKEN IN THE ON AS BEING EXACT OR COMPLETE. THE TILITY COMPANIES AT LEAST 72 HOURS FIELD LOCATION OF UTILITIES. IT SHALL			NMO	RBW	ALC DATE:
			TO RELOCATE ALL EXISTING UTILITIES /EMENTS SHOWN ON THE PLANS.		KHA PROJECT 50743023.1.10 DATE 07/07/2023	AS S		BY
15.	CERTIFICATIONS REQUI	IRED BY CODES AND/OR	SARY INSPECTIONS AND/OR UTILITY SERVICE COMPANIES. R INSTALLATION REQUIREMENTS AND		KHA PROJECT 160743023.1.100 DATE 07/07/2023	SCALE	MN BY	CHECKED BY
16.	REFER TO THE SITE ELE LIGHTING AND ELECTRIC		ECIFICATIONS OF THE PROPOSED SITE					
17.	REFER TO THE UTILITY I	PLANS FOR LAYOUT AND OTHER BUILDING UT	ROPOSED STORM SEWER ALIGNMENTS. DELEVATIONS FOR PROPOSED SANITARY ILITY SERVICE CONNECTIONS. REFER TO LEVATIONS.			AN		
18.		OPERTY OF THE CONTR	, AND OTHER UNUSABLE MATERIALS ACTOR AND SHALL BE DISPOSED OF OFF			PL		
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A۶	NORTH NORTH APHIC SCALE IN FE	EET 40	Know what's below.	FOR CONSTRUCT		EPARED FOR	AUTOZONE	ST FRANCIS MN



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		ORNAMENTAL GRASSES	CODE		N NAME		_				-DA
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	OFFEETREE	PERENNIALS	<u>CODE</u>		N NAME						NS
			PDS	PRAIRIE	DROPSEED						REVISIO
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DUOUS TREE EVEN TALL EVERGREEN TREE IS EQUAL TO TWO (2) IT OF TREES FULFILLING THE CALIPER-INCH SO THE SES THAN 25 PERCENT DECIDUOUS, ROREEN, AND 10 PERCENT OBNAMENTAL. FOR 9 THIS OBLIANCE & FOUR (1) FOOT TALL EVEN EVEN TO TWO (2) CALIPER INCHES AL. INCHES / 25 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 25 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 25 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) EVEN EVEN EVEN EVEN EVEN EVEN EVEN EVEN	A CKLE IMAC							H	LEY-HORN AND ASSOCIATES, I	EUSTIS STREET, SUITE 100, ST. P PHONE: 651-645-4197	
EEN TREE INTAL TREE OUR (4) FOOT TALL EVERGREEN TREE IS EQUAL TO TWO (2) IT OF TREES FULFILLING THE CALIPER-INCH D NOT BE LESS THAN 25 PERCENT DECIDUOUS, ROREEN, AND 10 PERCENT TORONAMENTAL. FOR SPET THIS ORDINANCE, A FOUR (4) FOOT TALL E IS EQUAL TO TWO (2) CALIPER INCHES. NNCHES CAL. INCHES / 25 % (12.5 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 27 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 27 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) L. INCHES / 27 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) L. INCHES / 27 % (6 CAL. INCHES / 2.5) L. INCHES / 27 % (6 CAL. INCHES / 2.5) AL. INCHES / 27 % SAL. INCHES / 27 % SAL INCHES / 27 TOTAL PARKING AREA * 0.05) AND S.F. IMUM PERIMETER IS COT TERIMETER SAL INCHES / 27 TOTAL PARKING AREA * 0.05) ING LOT TERIMI	. BE DETERMINE FOOTAGE OF AL TWENTY (320). (6,815 BUILDIN(ED BY DIVIDING THE TOTAL LL FLOORS OF A BUILDING BY	, ,					I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DIJI V LICENSED PROFESSIONAL			DATE: 07/07/2023 LIC. NO.
OUR (4) FOOT TALL EVERGREEN TREE IS EQUAL TO TWO (2) IT OF TREES FULFILLING THE CALIPER-INCH DNOT BE LESS THAN 25 PERCENT DECIDUOUS, ROREEN, AND ID PERCENT ORNAMENTAL - FOR YF THIS ORDINANCE, A FOUR (4) FOOT TALL E IS EQUAL TO TWO (2) CALIPER INCHES. NCHES CAL. INCHES / 25 6% (12.5 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 27% (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 27% (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 27% (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 22.5 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 27% (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) AL. INCHES / 23% SUCH THAT NOT MORE THAN 26 TOTAL CALIPER INCHES * 22.5 CALL INCHES * 25) AL. INCHES / 23% INCHES / 22.5 CAL. INCHES * 2.5) AL. INCHES / 23% INCHES / 22.5 CALL INCHES * 2.5) AL INCHES / 23% INCHES / 22.5 CALL INCHES * 2.5) AL INCHES / 23% INCHES / 22.5 CALL INCHES * 2.5) AL INCHES / 23% IND S.F. IMUM PERIMETER TREE PLANTING OF ONE (1) PER 60 FEET OF ING LOT PRIMETER	EEN TREE IEN TREE IENTAL TREE							JECT 1.100	:)23 SHOWN	SSL SSL	RAH
TI OF TREES FULFILLING THE CALIPER-INCH DNOT BE LESS THAN 29 PERCENT DECIDIOUS, ROREEN, AND 10 PERCENT ORNAMENTAL, FOR DF THIS ORDINANCE, A FOUR (4) FOOT TALL EIS EQUAL TO TWO (2) CALIPER INCHES. NOHES CAL INCHES / 58 % (12.5 CAL. INCHES / 22.5 TOTAL CAL. INCHES) LL INCHES / 28 % (4 CAL. INCHES / 22.5 TOTAL CAL. INCHES) EVERGREEN TREES SHALL BE OF A RSTITY SUCH THAT NOT MORE THAN 25 TOTAL CALIPER INCHES SHALL BE OF A RSTITY SUCH THAT NOT MORE THAN 25 TOTAL CALIPER INCHES SHALL BE OF A RSTITY SUCH THAT NOT MORE THAN 25 LL INCHES = (22.5 CAL. INCHES * 25) AL. INCHES = (22.5 CAL. INCHES * 25) AL. INCHES / 33% AL. INCHES / 33% AL. INCHES / 23% DS MAY OCCUPY AT LEAST FIVE (5) PERCENT D PARKING AREA. AND S.F. IMUM PERIMETER TREE PLANTING OF ONE (1) PER 60 FEET OF NG LOT PERIMETER. ES = (237 L.F. PARKING LOT PERIMETER / 60) ES INOR PARKING AREAS SHOULD HAVE A MINIMUM OF ONE (1) PER 10 SPACES (EXCLUDING PERIMETER SPACES) PLANTED IN NG LOT ISLANDS. ES = (44 TOTAL PARKING SPACES / 10) ES NOR PARKING SPACES / 10) ES	OUR (4) FOOT T	ALL EVERGREEN TREE IS EQ	UAL TO TV	VO (2)				HA PRO. 0743023.	DATE 7/07/20 AS	NED BY	KED BY
LINCHES / 13% (4 CAL. INCHES / 22.5 TOTAL CAL. INCHES) EVERGREEN TREES SHALL BE OF A RSITY SUCH THAT NOT MORE THAN 25 TOTAL CALIPER INCHES SHALL BE WITHIN S. LINCHES = (22.5 CAL. INCHES * 25) AL. INCHES / 33% AL. INCHES / 33% AL. INCHES / 25% INS MAY OCCUPY AT LEAST FIVE (5) PERCENT D PARKING AREA. AND S.F. = (15,207 TOTAL PARKING AREA * 0.05) AND S.F. IMUM PERIMETER TREE PLANTING OF ONE (1) PER 60 FEET OF NG LOT PERIMETER. ES = (237 L.F. PARKING LOT PERIMETER / 60) ES INOR PARKING AREAS SHOULD HAVE A MINIMUM OF ONE (1) PER 10 SPACES (EXCLUDING PERIMETER SPACES) PLANTED IN NG LOT ISLANDS. ES = (44 TOTAL PARKING SPACES / 10) ES INTERNET ES = (44 TOTAL PARKING SPACES / 10) ES INTERNET ES = (44 TOTAL PARKING SPACES / 10) ES	D NOT BE LESS RGREEN, AND 1 DF THIS ORDINA E IS EQUAL TO NCHES CAL. INCHES / 5	THAN 25 PERCENT DECIDUOU 0 PERCENT ORNAMENTAL. FO NCE, A FOUR (4) FOOT TALL TWO (2) CALIPER INCHES. 6 % (12.5 CAL. INCHES / 22.5 T	OR OTAL CAL					<u></u> 46			CHEC
L. INCHES = (22.5 CAL. INCHES * .25) AL. INCHES / 25% DS MAY OCCUPY AT LEAST FIVE (5) PERCENT D PARKING AREA. AND S.F. = (15,207 TOTAL PARKING AREA * 0.05) AND S.F. IMUM PERIMETER TREE PLANTING OF ONE (1) PER 60 FEET OF ING LOT PERIMETER. ES = (237 L.F. PARKING LOT PERIMETER / 60) ES INCR PARKING AREAS SHOULD HAVE A MINIMUM OF ONE (1) PER 10 SPACES (EXCLUDING PERIMETER SPACES) PLANTED IN ING LOT ISLANDS. ES = (44 TOTAL PARKING SPACES / 10) ES SHEET NUMBER TOTAL PARKING SPACES / 10) ES	CAL. INCHES / 18 EVERGREEN TF RSITY SUCH TH TOTAL CALIPE	3 % (4 CAL. INCHES / 22.5 TOT/ REES SHALL BE OF A IAT NOT MORE THAN 25					Z		SCAP		
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ES Know what's DEIOW. SHEET NUMBER Call before you dig. L100		PARKING SPACES / 10)									ST. F
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ANT SCHEDULE							LA	NDSCAPE NOTES	
	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE	1.	CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS	
•)	IHL	3	GLEDITSIA TRIACANTHOS VAR. INERMIS `IMPERIAL`	IMPERIAL HONEYLOCUST	B & B	2.5" CAL.	2	OR LANDSCAPE MATERIAL.	
	KCY	2	GYMNOCLADUS DIOICA `ESPRESSO`	ESPRESSO KENTUCKY COFFEETREE	B & B	2.5" CAL.	2. 3.	NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.	
RGREEN TREE	<u>CODE</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE	4.	ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO	
	BHS	2	PICEA GLAUCA `DENSATA`	BLACK HILLS SPRUCE	B & B	6` HT.	5.	SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE	
MAMENTAL TREE	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE		GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.	
•	PFC	2	MALUS X `PRAIRIFIRE`	PRAIRIFIRE CRAB APPLE	B & B	2" CAL.	6.	ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.	
NIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING		ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.	
÷	BAJ	3	JUNIPERUS VIRGINIANA `BLUE ARROW`	BLUE ARROW JUNIPER	#5 CONT.	4` 0.C.		ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH	
بېدىر + د كىمىر	SGJ	4	JUNIPERUS CHINENSIS `SEA GREEN`	SEA GREEN JUNIPER	#5 CONT.	5` O.C.	7.	RATIO OF NO LESS THAN 5:3. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.	
CIDUOUS SHRUBS	<u>CODE</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	<u>CONTAINER</u>	<u>SPACING</u>	8.	PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.	IATES
$\overline{\bigcirc}$	ANH	6	HYDRANGEA ARBORESCENS `ANNABELLE`	ANNABELLE HYDRANGEA	#5 CONT.	4` 0.C.	9.	PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN	Assoc
े दि	DBH	6	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3` O.C.	10.	MATERIALS IF NECESSARY; TEMPORARY ONLY. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE	RN AND
\odot	GLS	3	RHUS AROMATICA `GRO-LOW`	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4` O.C.		TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.	MLEY-HO
\odot	RTD	8	CORNUS SERICEA `BAILEYI`	RED TWIG DOGWOOD	#5 CONT.	5` O.C.	11.	OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.	2023 KIN
NAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING	12.	PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.	
	BBS	<u>33</u>	ANDROPOGON GERARDII	BIG BLUESTEM	#1 CONT.	30" O.C.	13.		
								STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE	
ENNIALS	<u>CODE</u> PDS	<u>QTY</u> 49	BOTANICAL NAME SPOROBOLUS HETEROLEPIS	COMMON NAME PRAIRIE DROPSEED	<u>CONT</u> #1 CONT	<u>SPACING</u> 24" O.C.	15.	YEAR. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR	EPARED BY ION AND SSIONAL LAWS OF
	י סט	τJ				27 0.0.	<i>,</i> -	THE NEED OF ANY SOIL AMENDMENTS.	IIS PLAN, I WAS PR SUPERVIS D PROFES IDER THE
	PWW	25	ECHINACEA X `POW WOW WILDBERRY`	POW WOW WILDBERRY CONEFLOWER	#1 CONT	24" O.C.	16.	BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.	RTIFY THAT TH ON OR REPORT R MY DIRECT 5 JULY LICENSEI ARCHITECT UN F MINNESOTA.
	WLC	10	NEPETA X FAASSENII `WALKERS LOW`	WALKERS LOW CATMINT	#1 CONT	30" O.C.	17.	MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR, OR APPROVED EQUAL. ROCK MULCH TO BE RIVER ROCK, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).	KHA PROJECTI HEREBY C160743023.1.100SPECIFICA160743023.1.100ME OR UNICDATELANDSCAP07/07/2023THE STATECALEAS SHOWNCOLICIONCOLICION
							18.	EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).	H H H U S S S S S S S S S S S S S S S S
							19.	ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.	
							20.	PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND	
							21.	APPROPRIATE TECHNOLOGY. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT	00 20
							22.	PROVIDE WATER FOR CONTRACTOR. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD	CIS NE NE
								AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.	
								REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECITES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A	LIMINARY - NO ST FR AUTO PREPAR
								MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.	
									요 L101

IRRIGATION KEYNOTES

(A)

- (A) POINT OF CONNECTION, VERIFY LOCATION WITH OWNER
- IRRIGATION CONTROLLER, TO BE INSTALLED IN MECHANICAL ROOM, VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTILLATION, PROVIDE ELECTRICAL SUPPLY PER MANUFACTURERS SPECIFICATION.
- SOLAR SYNC AND FREZZE CLICK LOCATION, AVOID OVERHEAD OBSTRUCTIONS AND OVERSPRAY.
- MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND VALVE WITHIN THE PROPERTY LINE, 6" FROM B.O.C WHEN D POSSIBLE, AND IN GREEN SPACE. COORDINATE WITH OTHER DISCIPLINES TO AVOID CONFLICTS (TYP.)
- SLEEVING SHOWN FOR CLARITY. INSTALL LATERALS IN ONE E SLEEVE AND SIZE SLEEVE ACCORDINGLY (TYP.)
- CONTRACTOR TO ADJUST ALL OVERHEAD SPRAY HEADS TO ENSURE MINIMAL OVER-SPRAY OCCURS ON ANY HARDSCAPE SURFACE / BUILDING / SIGNAGE (TYP.)
- G ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE) BETWEEN DRIPLINE AND SOD EDGE OR PAVEMENT EDGE. (TYP.)
- MATERIAL.
- VALVE BOXES.

- REMAIN.

- LOCATION.

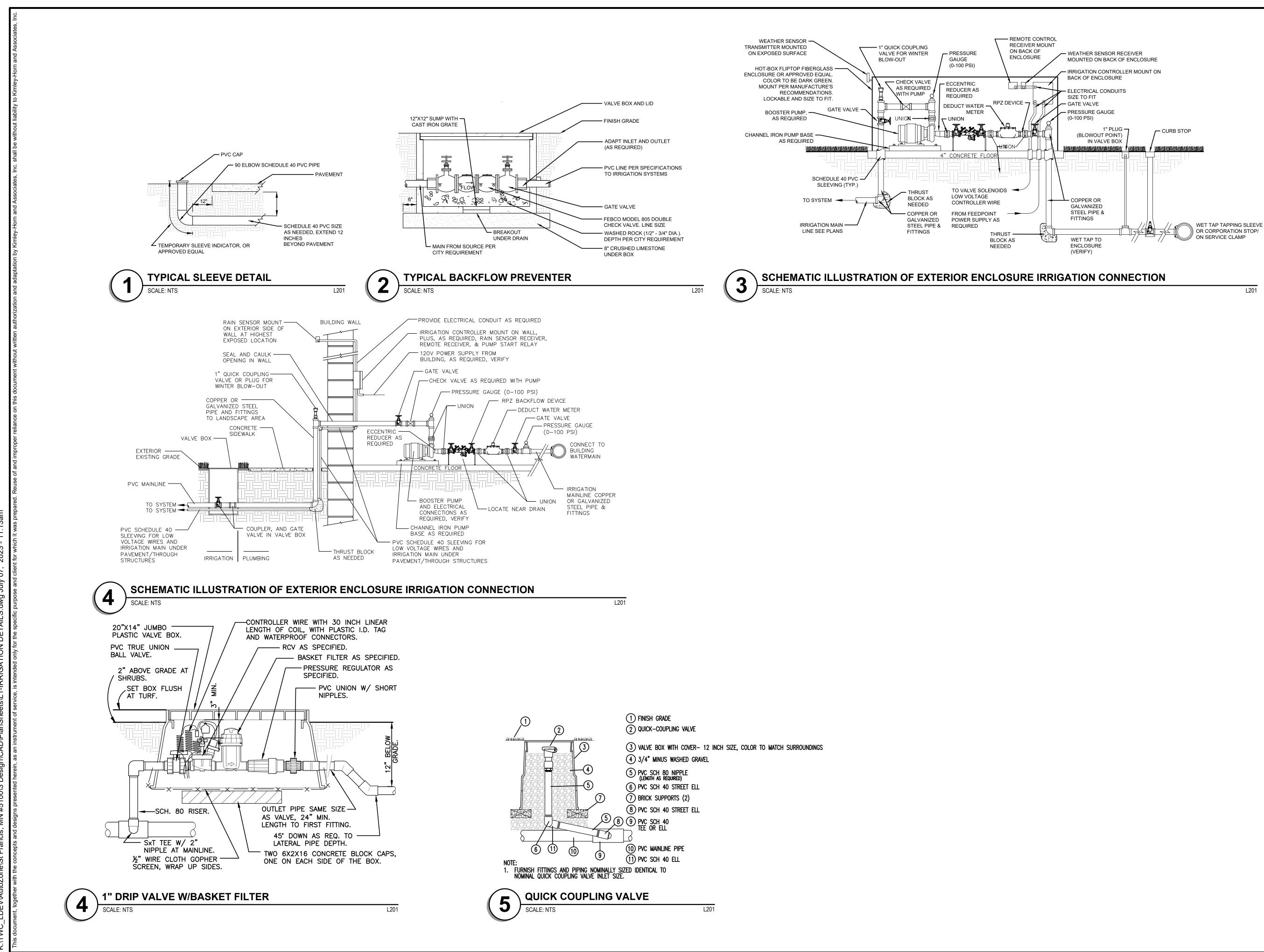
- CONNECTION.
- ZONE.
- REQUIREMENTS.

IRRIGATION NOTES IRRIGATION SYSTEM IS DIAGRAMMATIC, CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION, ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS, IF APPLICABLE. ZONE PARAMETERS: TURF AREAS SHALL HAVE SPRAYS/ROTORS, SHRUB/ PERENNIAL AREAS SHALL HAVE DRIP, AND TREES SHALL HAVE BUBBLERS. 2. ALL PIPE 1.5" OR GREATER SHALL BE SDR 26 CLASS 200 FOR MAINLINE AND CLASS 160 FOR LATERLINE PVC PIPE(DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"). ALL PIPE 1.25" OR 1" SHALL BE 100 POLY PIPE OR CLASS 160 PVC PIPE, AS INDICATED(DO NOT EXCEED 13 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE APPROXIMATELY 18" FOR MAINLINE AND 12" FOR LATERAL LINES, OR AS REQUIRED, FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT 3. ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL. \bigcirc 4. ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES(SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE $\widehat{\ }$ CONTROLLER TO BE COMMERCIAL TYPE, SIZED FOR NUMBER OF ZONES, CAPABLE OF 2-WIRE TECHNOLOGY, INCLUDING DECODER MODULE AND SURGE PROTECTION. SYSTEM TO BE 2-WIRE TECHNOLOGY WITH REQUIRED GROUNDING(LIGHTING PROTECTION). MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHER/RAIN/FREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BOARDS AND HARDWARE FOR ALL EXPOSED AREA, AS DIRECTED BY OWNER. INSTALL WEATHER/RAIN/FREEZE SENSOR ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S) PER OWNER'S APPROVAL. 6. FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE. 7. MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #3 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING, AS NEEDED. SLEEVE DEPTH IS PRIMARILY 18 INCHES, OR AS REQUIRED. COORDINATE AND PLACE SLEEVING PRIOR TO PAVEMENT INSTALLATION. DIRECTIONAL BORE UNDER PAVEMENT IN EXISTING CONDITIONS TO - S 문 물 BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. FAILURE TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF ON OR ER MY C DULY L ARCHIT VI) THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 9. THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE 582 PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. THA SPE CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION. 10. INSTALL WEATHER/RAIN/FREEZE SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL 11. CONTROL WIRE WILL BE SOLID COPPER WIRE U.L. APPROVED FOR DIRECT BURIAL IN GROUND, MINIMUM GAUGE: MINIMUM #14 U.F. FOR EITHER MULTI-STRAND OR TWO-WIRE. COMMON GROUND WIRE, IF APPLICABLE, SHALL BE MINIMUM #12 GAUGE WHITE. FOR MULTI-STRAND SYSTEMS, PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH, MARK AS APPROPRIATE. 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M. 12. SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTER TO OBTAIN PROPER COVERAGE. ROTOR NOZZLES TO PROVIDE PROPER COVERAGE AND MATCH PRECIPITATION, AS REQUIRED. FIELD ADJUST AS Ω NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS. INSTALL ROTOR AND SPRAY HEADS TO LATERAL LINE WITH FLEX TUBING OR SWING Z JOINTS. BUBBLERS TO BE ON 6" POP-UP. 0 13. VERIFY AND COORDINATE FINAL LOCATION OF WATER SOURCE AND ELECTRICAL POWER 14. COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS. C Ο 15. PROVIDE 1" VALVES FOR SPRAY AND ROTOR ZONES FOR 30 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 31 GPM. DRIP ZONES PROVIDE 3/4" OR 1" VALVES PER DEMAND OF RR 16. CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE $\mathbf{\alpha}$ LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC 17. DRIP IRRIGATION TO FOLLOW MANUFACTURERS RECOMMENDATION FOR TYPE, SIZE, AND LOCATION PER LANDSCAPE CONDITION. EACH DRIP ZONE SHALL HAVE ZONE VALVE, PRESSURE \cap REDUCER, AND FILTER, AIR RELIEF VALVE, FLUSH VALVE, SUPPLY LATERAL LINES, DRIP TUBING ()WITH EMBEDDED EMITTERS, AND OTHER RELATED ITEMS. DRIP TUBING SHALL BE ANCHORED AND UNDER LANDSCAPE MULCH, HIDDEN FROM VIEW, WITH EMITTERS LOCATED AT PLANT RANCIS OZONE LOCATIONS. DRIP TUBING SHALL ALSO BE LOOPED AND INTERCONNECTED, WITH NO Ο ш DEAD-ENDS. ANY ADDITIONAL EMITTERS, AS NOTED ON PLAN. NOZ LL . O Z UTO ш AU' ₹ Z ۷ S.

Know what's **below**. Call before you dig.

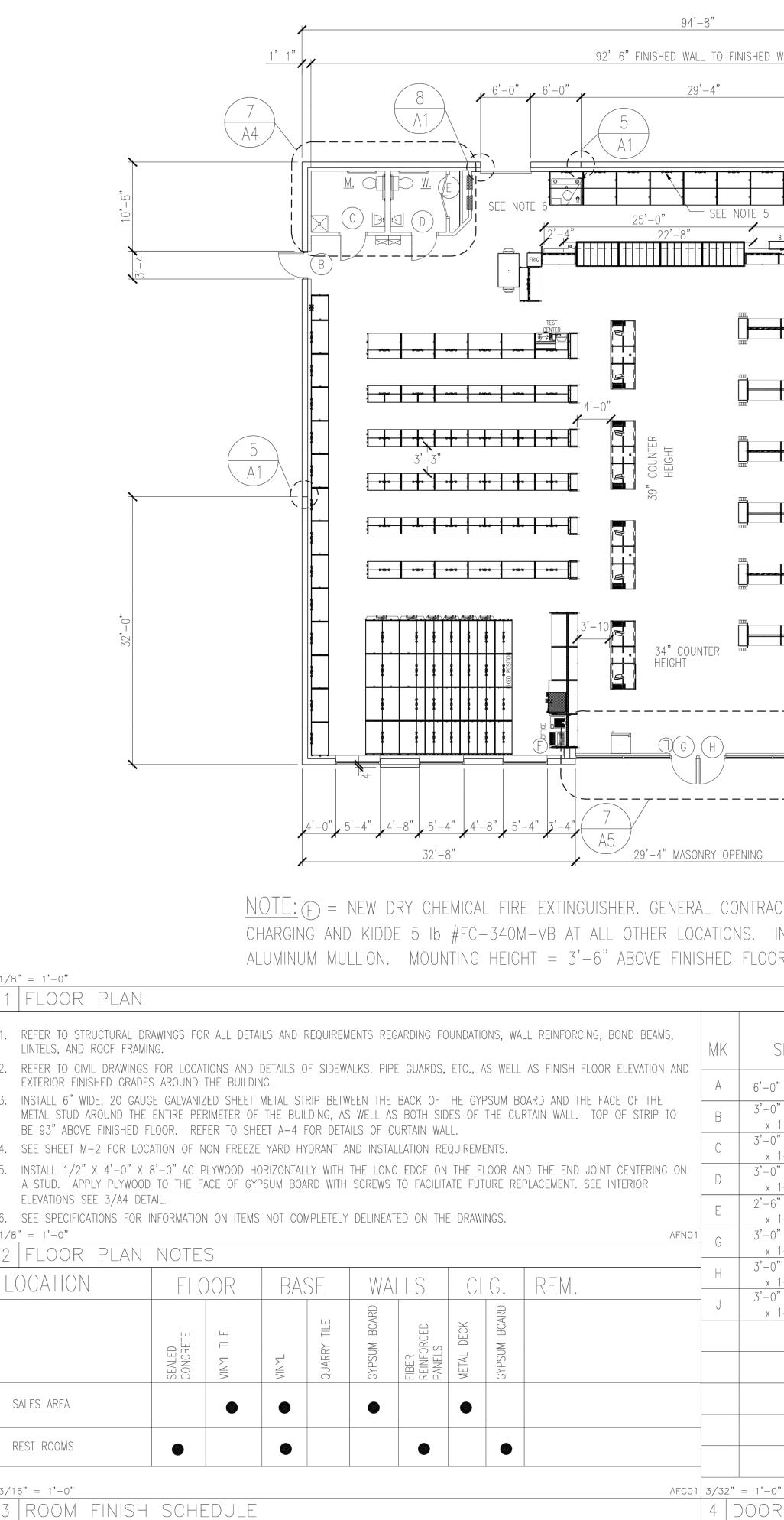
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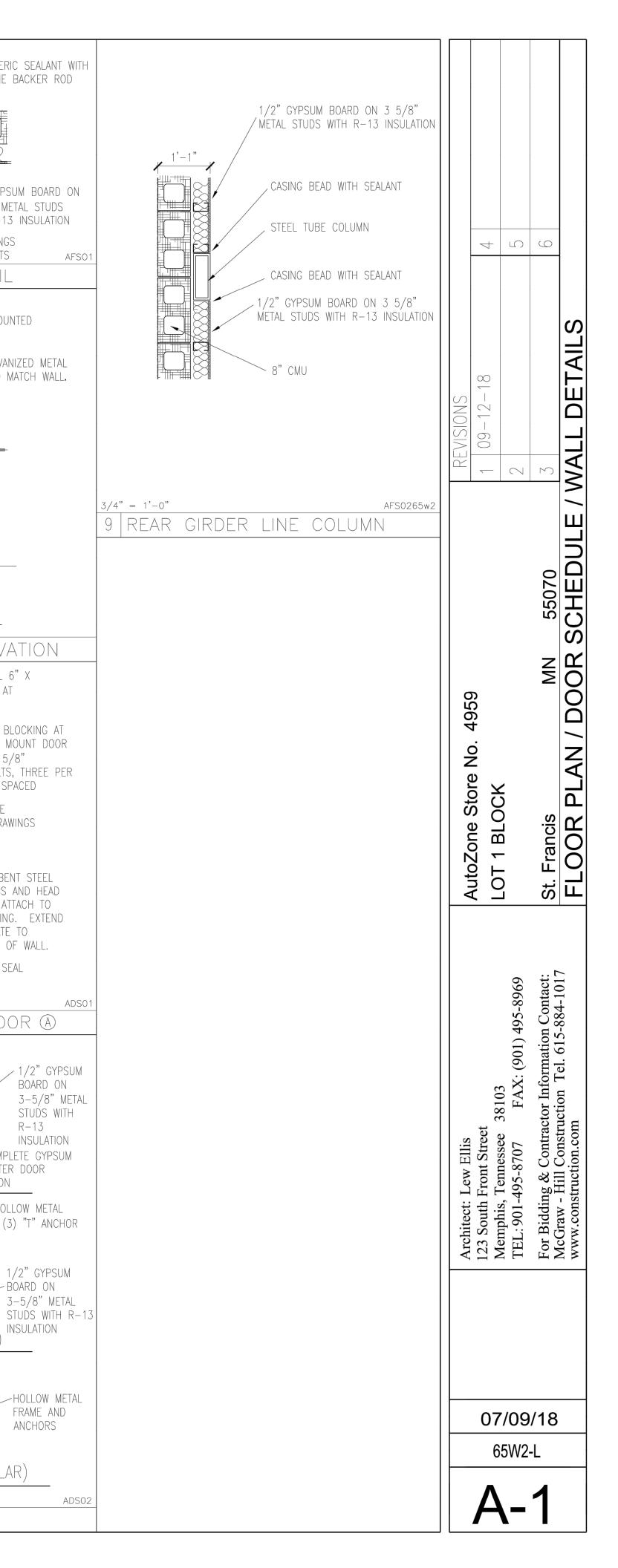


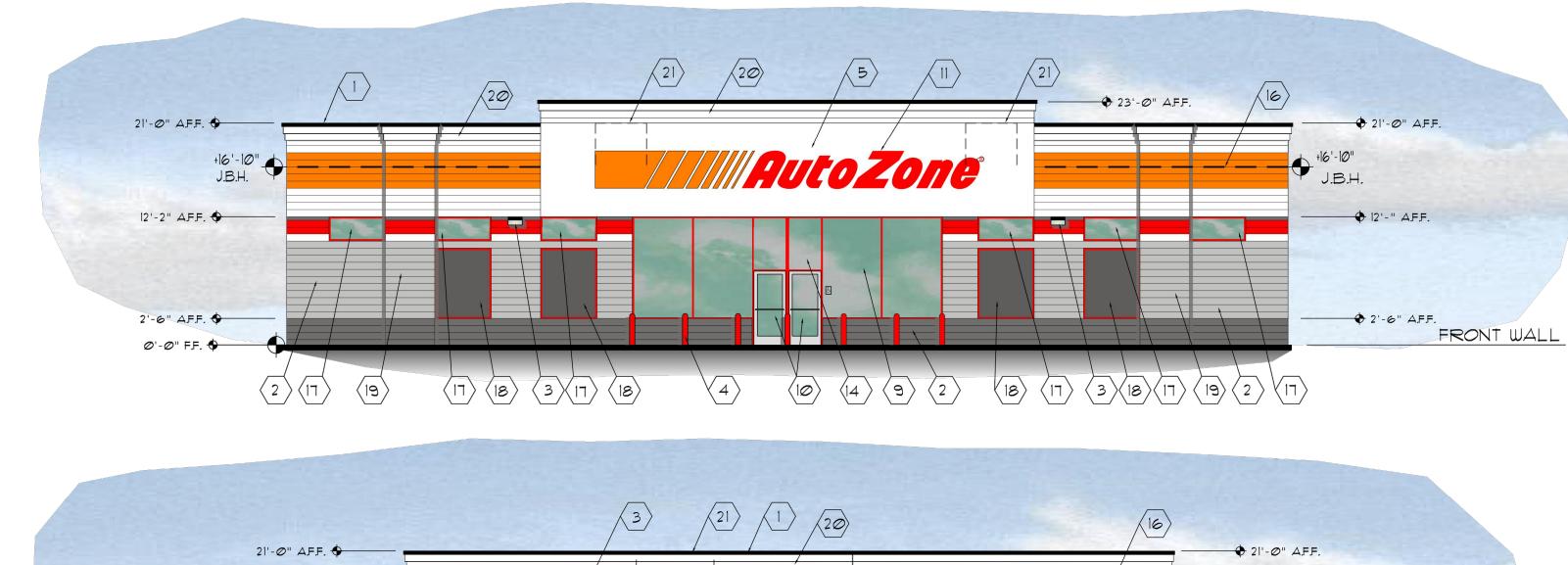
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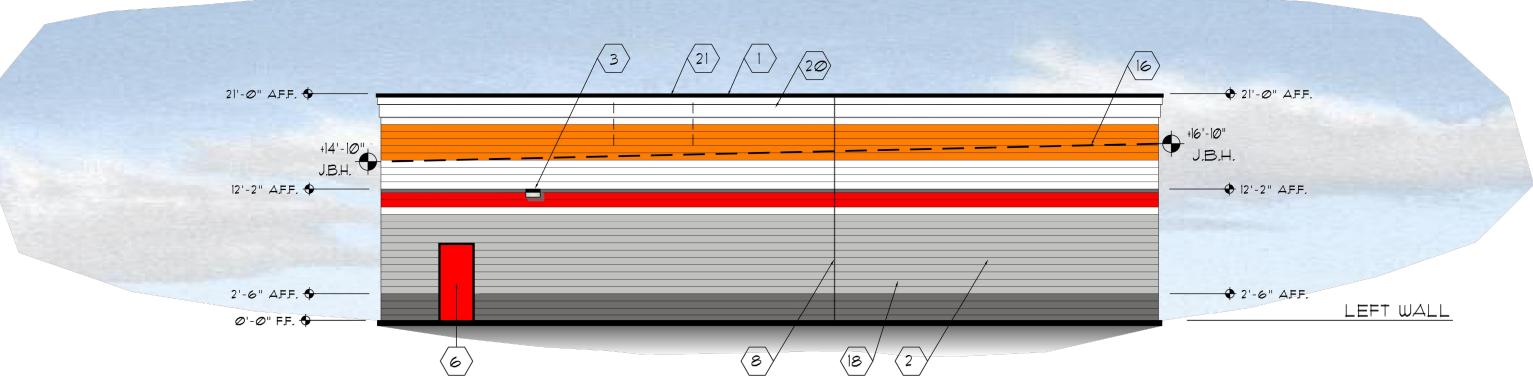
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		KHA PROJECT	I HEREBY CERTIFY THAT THIS PLAN, SPECIEICATION OB PEPORT WAS PREPARED BY					
		160743023.1.100	ME OR UNDER MY DIRECT SUPERVISION AND					
AUTOZONE		DATE	THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF					
ET		07/07/2023	THE STATE OF MINNESOTA.					
D Z PREPARED FOR		SCALE ########	Americ Collecter	2023 KIMLEY-HORN AND ASSOCIATES, INC.				
IME		DESIGNED BY RBW		767 FLISTIS STRFET SUITE 100 ST PAUL MN 56114				
			ALAN I CATCHPOOL					
		DRAWN BY RBW		PHONE: 651-645-4197				
ST. FRANCIS	MN	СНЕСКЕД ВУ АLC	ALC DATE: 07/07/2023 LIC. NO. 47969	WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BΥ
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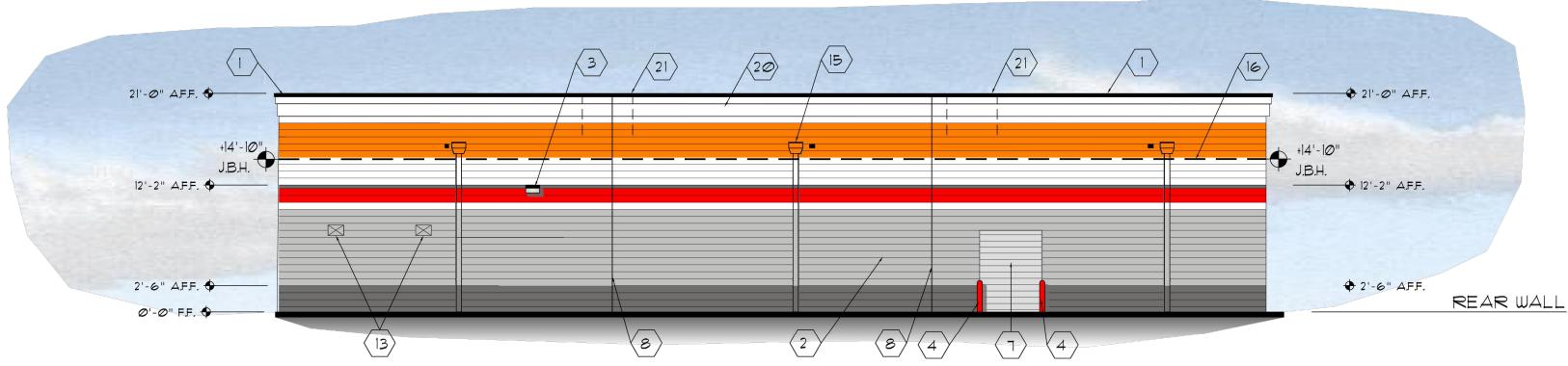


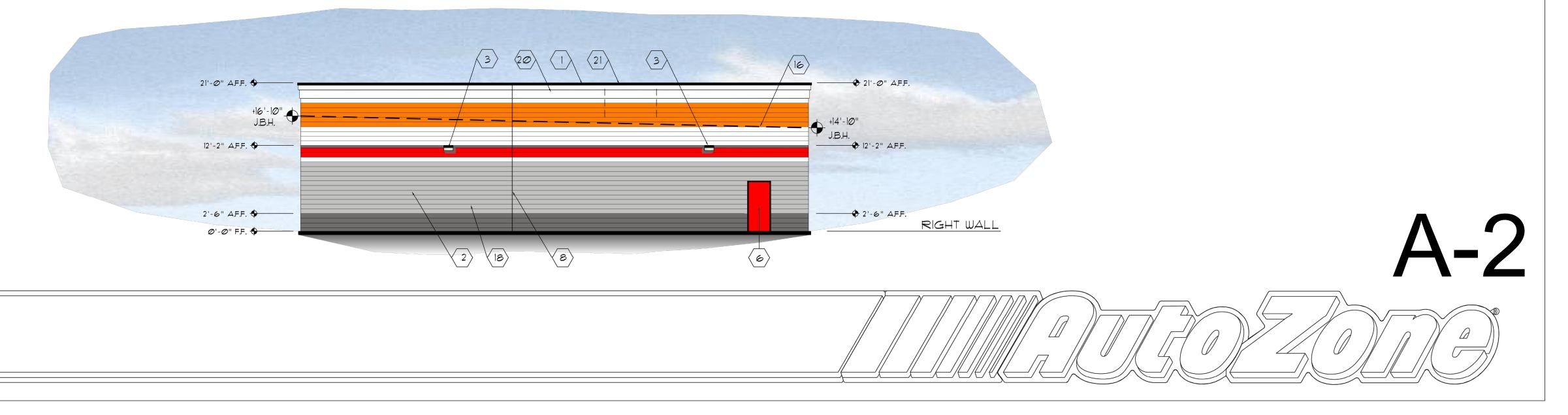
									ELASTOMER NEOPRENE
WALL	5 A1	52'-0"		1'-1"	·	\			8" CMU RUBBER CONTROL JOINT
8' CHARGING STATION	39'-8"					3'-4	22		WITH R-13 NOTE: SEE STRUCTURAL DRAWING 3/4" = 1'-0" FOR REINFORCING REQUIREMENTS 5 EXPANSION JOINT DETAIL
				×					CHAIN OPERATED INSULATED DOOR SURFACE MOU
· · · · · · · · · · · · · · · · · · ·									24 GAUGE GALVA HOOD PAINT TO 1
CTOR TO	INSTALL ONE I EITHER ON WAL	<u>2'-8"</u> KIDDE 10 .L SURFAG	lb #46	620420 A		60'-2" FINISHED WALL TO FINISHED WALL	72'-0"		6 OVERHEAD DOOR ELEV NOTE: GENERAL CONTRACTOR TO INSTALL 8'-0" ALUMINUM CHAIN GUARD ON WALL AN OPERATING SIDE 1/2" GYPSUM 1'-6 1/2" G
)r to toi	P OF EXTINGUI	SHER.							ABOVE FINISHED FLOOR. 5/16" = 1'-0" 7 OVERHEAD DELIVERY DO
SIZE 0" x 8'-0"	TYPE STEEL OVERHEAD	FRAME	JAMB DETAIL 6;7&8/A1	HEAD DETAIL 6&7/A1	ada / e	EXIT HA	rdware	SEE SECTION 08700 OF THE SPECIFICATIONS	SEALANT 1/8" BENT STEEL PLATE WITH ANCHORS AT 16"
$0" \times 7' - 0"$ 1 - 3/4" $0" \times 6' - 8"$ 1 - 3/4"	ROLL-UP HOLLOW METAL SOLID CORE WOOD UNDERCUT DOOR 1"	ANGLE HOLLOW METAL HOLLOW METAL	8/A1 8/A1	8/A1 8/A1	PUSH BAR EX SOUNDER LEVER HANDL		WILL HAVE AN SETS	N INTEGRAL	ON CENTER GROUT SOLID NOTE: OVER HEAD DOOR ANGLE TO BE WELDED TO DOOR A DOOR A
$\begin{array}{c} 0" \times 6' - 8" \\ 1 - 3/4" \\ 6" \times 6' - 8" \\ 1 - 3/4" \\ 0" \times 7' - 0" \end{array}$	SOLID CORE WOOD UNDERCUT DOOR 1" SOLID CORE WOOD PAIR REQUIRED GLASS & ALUMINUM	HOLLOW METAL HOLLOW METAL	8/A1 8/A1 SEE MA	8/A1 8/A1 NUFACTURER'S	LEVER HANDL		SETS AIR REQUIRED))	BENT PLATE
$\frac{1-3/4"}{1-3/4"}$ $\frac{1-3/4"}{1-3/4"}$ $\frac{1-3/4"}{1-3/4"}$	SEE SHEET A-5 GLASS & ALUMINUM SEE SHEET A-5 HOLLOW METAL	ALUMINUM ALUMINUM HOLLOW METAL	SHO SEE MA	P DRAWINGS NUFACTURER'S P DRAWINGS 8/A1	push bar e	exit device			3" X 3" ALUMINUM CORNER GUARD WITH MITERED CORNERS AT JAMB AND HEAD DOOR B (HEAD SIMILAR)
									1/2" GYPSUM BOARD METAL STUDS 2" DOOR CE (HEAD SIMILA
o" R SCHE	IDULE - H	ollow	METAL	DOORS	5 & FR	AMES		ADC01	3/4" = 1'-0" 8 JAMB DETAILS











Color Elevation AutoZone Store #5100 ST. Francis, MN

- TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT SCHEME THIS SHEET
- (3) WALL MOUNTED LIGHT FIXTURE
- (4) pipe guard with red sleeve
- MFG, WHITE EXTERIOR INSULATED FINISH PAINT WHITE (5)
- PAINT MAN DOOR RED & METAL FRAMES BLACK 6)
- DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- $\langle 8 \rangle EXPANSION JOINT$
- $\langle 9 \rangle$ Aluminum Storefront Red Kynar finish
- $\langle | \wp \rangle$ glass and aluminum doors clear anodized finish
- FRONT WALL SIGN SEPERATE PERMIT
- (12) NOT USED
- $\langle 13 \rangle$ TOILET WALL VENTS PAINT TO MATCH WALL
- $\langle 14 \rangle$ STORE ADDRESS 6" WHITE REFLECTIVE NUMBERS
- (15) PAINT GUTTER AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR.
- (16) ROOF LINE
- (17) CLERESTORY WINDOW EVERGREEN GLASS
- $\langle 18 \rangle$ Faux window Opaque black glass
- $\langle 19 \rangle$ PILASTER WITH 4" PROJECTION
- $\langle 2 \emptyset \rangle$ FOAM CORNICE CROWN
- $\langle 21 \rangle$ screened roof top units

