

CITY OF ST. FRANCIS
CITY COUNCIL AGENDA
MARCH 5, 2018
ISD #15 CENTRAL SERVICE CENTER
4115 Ambassador Blvd NW
6:00 pm

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. APPROVAL OF AGENDA
4. CONSENT AGENDA - *All matters listed within the Consent Agenda are considered routine items to be enacted upon by one motion by the City Council. Items on the Consent Agenda are reviewed in total by the City Council and may be approved through one motion with no further discussion by the Council. Any item may be removed by any Council Member, staff member or person from the public for separate consideration.*
 - A. City Council Minutes – February 20, 2018
 - B. Hire Albert Garza as St. Francis Fire Fighters contingent upon successful completion of all pre- employment testing
 - C. Ordinance 237, Second Series – Summary Publication Resolution 2018-10
 - D. St. Francis Lions – Temporary Liquor License for Pioneer Days June 8-10 @ Comm. Park
 - E. Payment of Claims
5. MEETING OPEN TO THE PUBLIC **Maximum time of five minutes per person***
6. SPECIAL BUSINESS
7. PUBLIC HEARINGS
 - A. Charter Amendments – Sections 4.05 and Section 7.06
 1. Ordinance 238, Second Series Amending Charter Sec. 4.05 and Sec. 7.06 (First Reading)
8. OLD BUSINESS
9. NEW BUSINESS
 - A. Woodhaven – Variance and Conditional Use Permit – Resolution 2018-11
 - B. Auto Aid Agreement with Bethel Fire Department
10. MEETING OPEN TO THE PUBLIC **Maximum time of five minutes per person***
11. REPORTS
 - A. Councilmember Reports -
 - B. Upcoming Events –
 - Mar 5 City Council Meeting @ ISD #15 Central Services Center 6:00 pm
 - Mar 17 St. Francis Lions Easter Bingo @ SF American Legion 6:30 pm
 - Mar 19 City Council Meeting @ ISD #15 Central Services Center 6:00 pm
 - Mar 21 Planning Commission Meeting @ ISD #15 Central Services Center 7 pm
 - Mar 24 St. Francis Lioness/Lions Easter Egg Hunt @ Community Park 10 am
12. ADJOURNMENT

MEMO

TO: Mayor & City Council

FROM: Joe Kohlmann, City Administrator

RE: Agenda Memorandum – March 5th, 2018 Council Meeting

Agenda Items:

4. CONSENT AGENDA:

- a. City Council Minutes – February 20th, 2018
- b. Hire Albert Garza - Hire Albert Garza contingent upon successful completion of all requirements.
- c. Ordinance 237, Second Series – **Resolution 2018-10** Authorizing summary publication of Ordinance number 237, Second Series. (solar energy systems).
- d. St. Francis Lions Club – Temporary On-Sale Liquor License for Pioneer Days on June 8th through June 10th. **Fee Waiver Proposal included** (based on past actions by the City Council).
- e. Payment of Claims –

6. Special Business:

- A. None –

7. PUBLIC HEARINGS

- A. Charter Amendments – Sections 4.05 and 7.06. The City Charter recommended the approval of these amendments. They are housekeeping items. Section 4.05 allows more latitude for signing official documents. The higher demand and varied signatures for documents has required that latitude should be extended to appropriate city staff.

Section 7.06 allows consistency with State Law. The old date to certify the Preliminary Levy was September 15th. That has since changed to September 30th. This amendment allows the City to have utilize the first or second meeting in September to discuss the Budget, consistent with the Statute change.

8. OLD BUSINESS

- A. None

9. NEW BUSINESS

- A. Woodhaven – CUP and Variance Requests.
 - a. CUP – to establish, construct and maintain a manufactured home park. Adding 55 new building pads.
 - b. Variance – The unique shape of the lot in relation to the ROW requires a setback variance from Highway 47 on lots 1 and 17. Page 17 has a good diagram showing the setback situation.
 - c. **Templated Approval Motion:**

"I move we approve the requested conditional use permit and variances based on the findings of fact listed on pages 20 & 21 of the report and subject to the conditions listed on pages 21 through 23 as may have been amended her tonight".

- d. **Resolution 2018-11** – A Resolution approving a Conditional Use Permit and Variances to allow expansion of the existing Woodhaven Manufactured Home Community.

- B. **Auto Aid Agreement** – Motion to enter into a 24/7 Auto Aid Agreement with the City of Bethel for structure and grass fire calls.

11. Reports:

- A. Councilmember Reports

12. Adjournment

CITY OF ST. FRANCIS
ST. FRANCIS MN
ANOKA COUNTY

CITY COUNCIL MINUTES
FEBRUARY 20, 2018

1. **CALL TO ORDER/PLEDGE OF ALLEGIANCE**

The regular City Council meeting was called to order at 6:00 pm by Mayor Steve Feldman.

2. **ROLL CALL**

Members present: Mayor Steve Feldman, Councilmembers Jerry Tveit, Joe Muehlbauer, Robert Bauer and Rich Skordahl.

Also present; Assistant City Attorney Dave Schaps (Barna, Guzy & Steffen), City Administrator Joe Kohlmann, Community Development Director Kate Thunstrom, Police Chief Todd Schwieger, Fire Chief Dave Schmidt, Public Works Director Paul Teicher, Finance Director Darcy Mulvihill and City Clerk Barb Held.

3. **APPROVAL OF AGENDA**

MOTION BY MUEHLBAUER SECOND SKORDAHL APPROVING THE REGULAR CITY COUNCIL AGENDA. Motion carried 5-0.

4. **CONSENT AGENDA**

Remove items A and D from the consent agenda.

MOTION BY BAUER SECOND MUEHLBAUER TO APPROVE THE CONSENT AGENDA ITEMS B, C, E-G AS FOLLOWS:

- A. ~~City Council Minutes – February 5, 2018~~
 - B. ~~City Council Work Session Notes – February 8, 2018~~
 - C. ~~Accept the Resignation of Part Time Liquor Store Clerk Angela Westbrook~~
 - D. ~~Hire Lucas Phelps, William Mangan, Kristina Kizer, Aaron Hill and Isaiah Brunette as St. Francis Fire Fighters contingent upon successful completion of all pre-employment testing~~
 - E. Hire Shannon Denny and Kristine Windhauser as Part Time Liquor Store Clerk pending background checks
 - F. Authorizing Solicitation of Contributions-Resolution 2018-09
 - D. Payment of Claims \$452,962.50 (ACH #222 \$156,862.39 and Check #'s 73703-73781 \$296,100.11)
- Motion carried 5-0.

A. City Council Minutes – February 5, 2018

The roll call vote for Ordinance 237, Second Series was not included in the minutes that were part of the packet.

MOTION BY SKORDAHL SECOND MUEHLBAUER TO APPROVE THE AMENDED MINUTES FOR FEBRUARY 5, 2018.

- D. Hire Lucas Phelps, William Mangan, Kristina Kizer, Aaron Hill and Isaiah Brunette as St. Francis Fire Fighters contingent upon successful completion of all pre-employment testing

Bauer asked to remove this from the consent agenda. Noticed a couple of the new names are relatives of current members on the fire department. Bauer asked Fire Chief Dave Schmidt what happens if a husband and wife go into a fire and problems occur, whom would you save.

Schmidt stated I think we are all family. We all watch out for each other no matter who it is. That is why we call each other brother and sisters. Bauer said because of my past experience, I would first do a quick assessment and then would save the one that has a best chance to survive, that's the answer I was looking for.

Schmidt said the two members in question. Lucas Phelps military trained fire fighter and son of a current fire fighter. Kristina Kizer's husband is on the fire department and she too has military fire fighter experience. Schmidt said I have zero concerns about either but appreciate your (Bauer) concerns.

Muehlbauer asked if they both live in town, Schmidt said yes.

Skordahl said I do not think we have a reason not to hire them according to our policies.

Bauer said St. Francis has had a poor history on this type of situation. Don't believe they are all finished through the pre-employment hiring process. Schmidt said we do not have another council meeting before the training academy starts so that is why they are on this agenda with contingencies. Schmidt stated no one would continue if they do not meet all the required pre-employment testing requirements.

Feldman said we do have new leadership here, I feel confident under Dave (Fire Chief) and Joe's (Assistant Chief) leadership. Skordahl also said we do have policies in place.

MOTION BY TVEIT SECOND SKORDAHL TO APPOINT LUCAS PHELPS, WILLIAM MANGAN, KRISTINA KIZER, AARON HILL AND ISIAH BRUNETTE AS ST. FRANCIS FIRE FIGHTERS CONTINGENT UPON SUCCESSFUL COMPLETION OF ALL PRE-EMPLOYMENT TESTING. Motion carried 4-1. Bauer. Voting nay.

5. **MEETING OPEN TO THE PUBLIC**

- A. Sarah Hunt, 23246 Kerry Street, I would like to address the fire chief. What I am about to say may be a little shocking but I think it needs to be said and I really do hope with you being chief now it doesn't reoccur. Between eight and six years ago, we had multiple married couples on the fire department. There were at least three affairs that took place within the fire department. I certainly would hate for that to happen again. It puts a big blemish on the department. Not only that, you actually have fire fighters that are concerned about you hiring

a couple of them. Not sure if you are not talking to them or are just ignoring their concerns. Just wanted to bring this up to the council as well.

6. **SPECIAL BUSINESS**

None

7. **PUBLIC HEARING**

None

8. **OLD BUSINESS**

None

9. **NEW BUSINESS**

A. Ordinance 237, Second Series – Amend Regulations on Solar Energy Systems (2nd Reading)

Thunstrom this is the second reading of the Solar Ordinance.

MOTION BY MUEHLBAUER SECOND BAUER TO APPROVE THE SECOND READING OF ORDINANCE 237, SECOND SERIES AMENDING REGULATIONS ON SOLAR ENERGY SYSTEMS.

Roll Call: Yays: Feldman, Bauer, Skordahl, Muehlbauer, and Tveit

Nays: None

Motion carried 5-0.

Tveit asked if we had a summary resolution for this ordinance. Council agreed for a summary resolution to be brought back to the next meeting for consideration.

B. Emergency Management Plan

Police Chief Todd Schwieger stated having an Emergency Management Plan in place is essential to insure the City of St. Francis is prepared to deal with disasters and to protect the public. Schwieger gave an overview of the plan. This plan can be amended annually if needed, and the goal is to get city staff and elected official in different training scenarios. Important to have a plan in place.

Feldman stated this plan has been in place in other cities too. It has been tried and tested in many events. You can use this for something small or a large event.

Bauer good road map if something catastrophic would happen.

Skordahl said it is a good plan. I would encourage you not to put it on the shelf and forget about it. Ideal to have the best information as soon as you can. I often wondered what happens if something happens at a business and we want to put the school on a lock down. Who should or do you call? Schwieger said if

there is imminent danger call 911. Skordahl said we are folks of leadership, what do we do if I get a call that is threatening or could be. Schwieger said always call 911.

Muehlbauer good format, like that it will be reviewed annually. Muehlbauer wants to thank Sgt. Larson how he handle of a recent incident. School was happy how it was handled too.

Feldman said before you go on Facebook, important to call 911 first.

Schwieger said it is tough to correct misinformation once it is out there (social media).

MUEHLBAUER SECOND BAUER TO APPROVE THE ST. FRANCIS EMERGENCY MANAGEMENT PLAN. Motion carried 5-0.

C. Public Works – Bobcat Toolcat Replacement

Public Works Director Paul Teicher gave a brief overview of the history regarding the routine replacement of the Bobcat Toolcat. The one being traded in is a 2012 with roughly 1250 hours. I would like to point out that we were pleased with the trade-in value of \$29,000.

Feldman said with the trade-in is more if they under 1500 hours. Commend Teicher on the great condition of the machine. The machine is at its peak performance the whole time you have it. Teicher stated you want to minimize the down time. Feldman said the trade in was higher because the company was impressed with its condition.

Muehlbauer asked are you trading in a bobcat for a scissor lift. Teicher no, bobcat with a bobcat but adding a v-plow.

Tveit stated trade-in programs are a great deal for the city. Like the buyback programs.

Skordahl, commend staff for keeping the equipment in good condition.

Bauer too want to commend staff for taking good care of the equipment.

MOTION BAUER SECOND TVEIT AUTHORIZNG THE REPLACEMENT OF THE 2012 BOBCAT TOOLCAT FROM CRAWFORD EQUIPMENT WITH A NEW BOBCAT TOOLCAT WITH A V-PLOW IN THE AMOUNT OF \$23,615.62 PLUBS TAX IF APPLICABLE PER MN STATE BID. Motion carried 5-0.

D. Public Works - Scissor Lift Purchase

Teicher stated after substantial completion of the wastewater treatment facility, staff began to recognize the need for a scissor lift to safely complete routine maintenance. One area of concern is changing the eight filters for the aeration blowers. The top of the shroud that protects the filter is located twelve feet off the ground and requires the use of a 14-foot, two-person stepladder and/or an extension ladder. The protective shroud weighs roughly 50 lbs. and safely lifting and lowering of them to the ground has become an issue of concern. The purchase of the scissor lift would allow staff to complete the work safely from an elevated platform level with the top of the shroud. It would free up one person. Staff would also utilize this piece of equipment for roof access, HVAC maintenance, security camera maintenance, light fixture maintenance in/on all city buildings. Teicher is asking for authorization to purchase a 26' scissor lift from API Supply Lifts who had the lowest quote of \$17,600 plus tax, if applicable. This could be purchased with the trade-in funds we received from the bobcat.

Feldman said this will get a lot of use. Safety first, one fine from OSHA could be more than the cost of this piece of equipment. Commend staff with the trade in value and the good condition. No change to the budget.

Bauer liked how you explained this purchase.

Skordahl asked if we can use this at the fire station, do we have a way to get it over there. Teicher said yes we have a trailer that can move the lift. Even with this type of equipment, you still need to be safe. Make sure they receive proper training. Teicher said training for staff is included in the purchase of this piece of equipment. They will still wear a harness and lanyard.

Tveit asked how often do you change the filters. Teicher said monthly on the blowers that run during the month. Tveit said these are safer than a ladder but it does open us up to other liability, daily inspections, etc. Tveit said maybe good this year but it will cost us to maintain and replace this equipment. I believe we should not purchase one and save the money. We could rent one when needed.

Feldman said that was looked in to. For the use of it, it pays for itself in the long run. Can be used in different locations. We are spending money wisely.

Tveit said in Minneapolis they rent one quarterly. Not sure how much it would be. There was no cost difference in the packet. Maybe in favor of holding on to the extra money from the bobcat trade in right now. We are not sure how often we need to change the filters.

Discussion on leasing/renting versus buying. Feldman said we are getting a warranty extension. Money being spent wisely. Tveit said I am not convinced

we need it.

Muehlbauer stated we are saving on the trade in and need to consider safety. Not in the budget but can use the money we received from the trade-in, good job with the research.

MOTION BY MUEHLBAUER SECOND BAUER AUTHORIZING STAFF TO PURCHASE JGL 2646 ES SCISSOR LIFT FROM API SUPPLY LIFTS (LOWEST QUOTE) FOR THE AMOUNT OF \$17,6000 PLUS TAX, IF APPLICABLE.

Motion carried 4-1. Tveit voting nay.

E. City Charter Amendments – Sections 4.05 and Section 7.06

For discussion only. We will need to set a public hearing for the amendments.

MOTION BY MUEHLBAUER SEOCND SKORDAHL DIRECTING STAFF TO SET A PUBLIC HEARING AT A FUTURE CITY COUNCIL MEETING.

Motion carried 5-0.

F. Hazardous Building Process and Designation

Assistant City Attorney Dave Schaps reported there are three residential properties that are in a significant and ongoing state of disrepair. Two of properties have had house fires. The properties identified by staff are; 3731 Bridge Street, 23611 Ambassador Blvd, and 22708 Rum Rive Blvd. At this time, it appears all three properties likely fall under the hazardous building designation as outlined in Minn. State Chapter 463.

BGS would handle the step-by-step process as noted in their memorandum to the City Council. However, hazardous building designations and the corresponding court actions are a non-retainer item. Therefore, it has been the position of our office to approach the City Council prior to undertaking these actions, as outside expert and attorney's fees will be incurred. Minn. State. 463.22 does allow the City to account for and specially assess these costs back against the property, however, the City will need to pay for these expenses up front prior to being reimbursed through the special assessments.

Community Development Director Kate Thunstrom stated two of the properties have extreme damage on the inside because of the fire damage.

Felman said there are concerns for safety hazard. They need either to be brought up to code or taken down.

Bauer asked if mailings were sent notifying them. Thunstrom stated all received notices. Bauer said well then let us move forward if we can assess.

Skordahl said no choice but to move forward.

Muehlbauer asked about what could be assessed. It was stated legal fees and all fees associated.

Tveit said so these properties have been fined through our administrative process. Thunstrom said they have received administrative notices and given opportunity to appeal but some still choose not to address the issue. Some just pay the fines and not address the issue. Tveit agreed let's get it taken care of.

Feldman again stated he is concerned of safety issues in their current condition, the only way to go.

MOTION BY BAUER SECOND MUEHLBAUER DIRECTING STAFF AND THE CITY ATTORNEY'S OFFICE TO MOVE FORWARD TO UNDERTAKE HAZARADOUS BUILDING ACTIONS AT 3731 BRIDGE STREET, 23611 AMBASSADOR BLVD, AND 22708 RUM RIVER BLVD. Motion carried 5-0.

G. Animal Control Contract Discussion

Feldman stated before we get into this I would like to hear from all sources. We have not made up our minds. To do this correctly, I think is to start a committee. Myself, police chief and another council to interview the parties first before making a decision. Going on Facebook to try and influence us to change our animal control company is not the way to go about it. We received emails from people that don't even live here about this topic. Bring your concern here.

MOTION BY MUEHLBAUER SECOND FELDMAN TO FORM A COMMITTEE TO TALK TO ALL INTERESTED PARTIES AND COME BACK TO COUNCIL WITH A RECOMMENDATION. Feldman asked for discussion.

Bauer said I have read a lot of this unfold on social media. Bauer stated I move to table it. There is a lot of unsubstantial information out there, seems like a witch-hunt on this small business. They are a quality animal control and other cities recently have reemployed this company. We have a great small business doing a good job for our cities.

Skordahl I really have a hard time dealing with he said she said. I don't know, is there something broken that needs to be fixed. Emotion needs to be taken out of the situation and let's be fair. Not opposed to the committee but don't know if there is something wrong enough to be fixed.

Feldman said we have had residents asked us to look into it. Don't really know what to believe.

Muehlbauer said too if a resident asked us to look into, we should look into it. Get the best person, cost wise and stop the emails. Lot of unsubstantial information out there. Our duty is for the residents, best person to serve our residents and make it affordable.

Feldman said to be impartial we need to interview them because of all the information that is out there.

Tveit said pets are parts of people's families. I don't know if we need to change things now in mid-stream. I have had a dealing with my dog and she did everything that was supposed to be done. Don't know how you can fault someone for that. Don't think she (Gratitude Farms) has done anything wrong. I don't think there is a problem.

Feldman said something was brought forward from a resident we need to look into and find the facts and make the right decisions.

Tveit said I don't see a reason to stop the contract.

Feldman said I sat out there and I still don't have all the answers to my questions. I just like to air it out and get the facts out. Open, transparency and accountability is what we ran on.

Tveit said but nothing happened in our city. Feldman said because someone brought it up to us about their concern of this company. Tveit said but what are we going to ask them, what is this committee going to do. Feldman said being it blew up on social media that is why it came to us.

Skordahl said we could do two-step process; first look to see how our current contractor does business and are they meeting our needs. If not then bring back to the council.

Feldman said let's just get the facts. I may not give you what the public wants to hear but doing the best for the residents. Fire storms need to be stopped on Facebook.

Bauer not opposed for a two-part review.

Schaps asked for clarification. We actually have two motions before you. We need to have a second to the motion by Bauer.

Feldman said the motion was to create a committee to look into the concerns asked from the residents. We would investigate to see if the current animal control is meeting the needs. Feldman said it has become a polarized situation. One party after the other. Need to get the facts out there.

Schaps stated Bauer had made a motion to table. Schaps said I think it would be appropriate to clarify the motion.

MOTION BY FELDMAN SECOND MUEHLBAUER TO CREATE A COMMITTEE FOR FACT FINDING TO SEE WHERE WE ARE WITH OUR CURRENT ANIMAL CONTROL COMPANY AND BRING THE INFORMATION BACK TO THE CITY COUNCIL. Bauer wants to make sure there is a twostep process.

Motion carried 4-1. Tveit voting nay.

Feldman asked for a volunteer to be on the committee with himself and the police chief. Tveit said he would. Skordahl stated if anyone can't make it he would be happy to step in too.

10. MEETING OPEN TO THE PUBLIC

None

11. REPORTS

A. Public Works – Monthly Report

Teicher stated one interesting note in this report is we collected 200 lbs. of Christmas lights this season. They are taken to a recycling location. Feldman asked where are we with the skating rinks. Teicher stated the contract ended February 11. Warming house is closed and with the warm sun the ice does melt fast.

Skordahl and Feldman said they like these reports.

Bauer asked about the Christmas lights, do you take this year round? Teicher said yes. Bauer likes reading these reports.

B. Councilmember Reports

Skordahl commended whoever manages the electronic sign, thank you. As I drove by this past weekend I noticed the meeting was on Tuesday, I don't get Presidents Day off so I didn't think of not having a meeting on Monday. Keeps up the good work.

Bauer said the emails do need to stop, come to council if you have concerns.

Muehlbauer commended Sgt. Larson how he handled last week's situation with the school situation. Facebook comments got out of hand quickly. Attendance at the schools were down due to what was put out on Facebook, Superintendent Ferguson of ISD #15 said Larson handled the situation well. Appreciate police department keeping us up to date. Facebook is really not the place to get the facts and news. Call up staff, wonderful resource to use.

Tveit reported the Upper Rum River Management Organization met on the same night as our council meeting. There is a ten year plan meeting coming up

and was scheduled for February 22 but they had to change because of a conflict. Have not heard when that meeting has been rescheduled to.

Feldman stated we are all itching for springtime. Days are getting longer, watch out for pedestrians. Study on 235th and Rum River Blvd., and on Pederson and Hwy 47 coming this spring.

If you have a concern or an issue, call staff or come to the meeting. It is your council, it was brought to my attention that we don't let people talk, we do. Before you go on Facebook, come here and ask. Staff and council working together for a better city. Take the time to come and talk to us. Still looking at the rate study and the best way to help lower the rates is to get development here. One thing is, I don't like how slow government moves.

C. Upcoming Events -

- Feb 21 Planning Commission Meeting @ ISD #15 Central Services Center 7 pm
- Mar 5 City Council Meeting @ ISD #15 Central Services Center 6:00 pm
- Mar 17 St. Francis Lions Easter Bingo @ SF American Legion 6:30 pm
- Mar 19 City Council Meeting @ ISD #15 Central Services Center 6:00 pm

12. ADJOURNMENT

There being no further business, Mayor Feldman adjourned the regular city council at 7:46 pm.

Barbara J. Held, City Clerk



**CITY COUNCIL
AGENDA REPORT**
Agenda Item #:
4 B

TO: Mayor & City Council
FROM: Dave Schmidt, Fire Chief
SUBJECT: **Contingent offers of employment for Part-time Firefighter**
DATE: 02-28-2018

OVERVIEW:

In late 2017 the Fire Department received approval from City Council to hire 8 firefighters. The Fire Department immediately began recruiting and soliciting applications from those interested in the community. The Fire Department received a total of 9 applications. 8 candidates were interviewed and forwarded off to complete Criminal Background checks and Psychological Evaluations. The final step in the process is a Medical Screening. The vetting process currently coming to end and the Fire Department is requesting to make a contingent offer of employment to an additional candidate upon successful completion of all the required steps for employment.

The candidate for consideration is Albert Garza

The anticipated start date for this candidate is March 6th, 2018, with initial training beginning on March 6th, 2018 through the Anoka County Fire Academy.

Action to be considered:

Motion to approve the Fire Department to make contingent offer of employment to Albert Garza position of Part-time Firefighter with the City of St. Francis.

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
ANOKA COUNTY**

RESOLUTION 2018 - 10

**RESOLUTION AUTHORIZING PUBLICATION OF
ORDINANCE NO. 237, SECOND SERIES, BY TITLE AND SUMMARY**

WHEREAS, the city council of the City of St. Francis has adopted Ordinance No. 237, Second Series, an ordinance to amend regulations on solar energy systems; and

WHEREAS, the ordinance is lengthy; and

WHEREAS, Minnesota Statutes, section 412.191, subd. 4, allows publication by title and summary in the case of lengthy ordinances or those containing charts or maps; and

WHEREAS, the City Council believes that the following summary would clearly inform the public of the intent and effect of the ordinance.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of St. Francis, that the City Clerk shall cause the following summary of Ordinance No.237, Second Series, be published in the official newspaper in lieu of the entire ordinance:

Public Notice

The City Council of the City of St. Francis has adopted Ordinance No. 237, Second Series, an ordinance amending local regulations on solar energy systems. The ordinance expands the potential use of solar energy systems beyond individual residential sites to larger facilities including solar energy farms. Energy systems that can be established as a result of this update include roof mounted or architecturally integrated systems, ground mounted systems, community solar energy systems (CSES), and solar farms. The new regulations require compliance with all applicable state codes (building, electric, plumbing, energy, etc), and sets up standards for the use including but not limited to security, landscaping, utility lines, easements, and glare. Such uses can only be established through acquisition of a Conditional Use Permit. The full ordinance text is available for inspection at City Hall during regular business hours, and will be emailed or sent to any party upon request.

Mayor Steven D. Feldman

BE IT FURTHER RESOLVED by the City Council of the City of St. Francis that the City Clerk keep a copy of the ordinance at city hall for public inspection, and that a full copy of the ordinance be posted in a public place within the city.

Adopted this 5th day of **March 2018** by the City of St. Francis City Council with voting as follows:

Mayor Steve Feldman: _____

Rich Skordahl: _____

Robert Bauer: _____

Jerry Tveit: _____

Joe Muehlbauer: _____

Steven D. Feldman, Mayor

ATTEST:

Barbara I. Held, City Clerk

(SEAL)



**CITY COUNCIL
AGENDA REPORT**

Agenda Item #:

4D

TO: Joe Kohlmann, City Administrator
FROM: Barb Held, City Clerk
SUBJECT: Temporary On-Sale Liquor License
DATE: March 5, 2018

OVERVIEW:

St. Francis Lions Club is asking for City approval to sell strong beer/wine coolers during Pioneer Days this year, June 8-10th in Community Park. Last year was the first year they had a Temporary Liquor License in the park. In the past, they have had a permit for only 3.2 malt beverages in the Park. With this Temporary On-Sale Liquor License they have the option of selling craft beer/wine and liquor if they so choose. The Lions Club does carry liquor liability insurance and the certificate is attached. For historic purposes, the St. Francis Jaycees also had this type of permit when they sold beverages in Community Park during past Pioneer Days. Also with that, previous City Councils have waived all fees for these types of licenses during Pioneer Days. This application does need City Council approval before it is sent to the Department of Public Safety-Alcohol and Gambling Enforcement Division for their approval. The Lions have also had a temporary license for at the Fire Station during Pioneer Days.

ACTION TO BE CONSIDERED:

Consideration to approve the St. Francis Lions Club Temporary On-Sale Liquor License for three (3) days during Pioneer Days June 8-10th and waiving the fee.

BUDGET IMPLICATION:

none

Attachments:

- Certificate of Liability Insurance
- State Application



Minnesota Department of Public Safety
 Alcohol and Gambling Enforcement Division
 445 Minnesota Street, Suite 222, St. Paul, MN 55101
 651-201-7500 Fax 651-297-5259 TTY 651-282-6555
**APPLICATION AND PERMIT FOR A 1 DAY
 TO 4 DAY TEMPORARY ON-SALE LIQUOR LICENSE**

Name of organization St. Francis Lions		Date organized Jan 1, 1968	Tax exempt number
Address PO Box 173		City St. Francis	State Minnesota
		Zip Code 55070	
Name of person making application Kristin Ferguson		Business phone 763-753-1265	Home phone 763-300-0017
Date(s) of event June 8-10, 2018	Type of organization <input type="checkbox"/> Club <input type="checkbox"/> Charitable <input type="checkbox"/> Religious <input checked="" type="checkbox"/> Other non-profit		
Organization officer's name Kristin Ferguson	City St. Francis	State Minnesota	Zip Code 55070
Organization officer's name	City	State Minnesota	Zip Code
Organization officer's name	City	State Minnesota	Zip Code
Organization officer's name	City	State Minnesota	Zip Code

Location where permit will be used. If an outdoor area, describe.
 Community Park Pavillion and entire park area and 3740 Bridge Street (for Bingo)
 22825 St. Francis Blvd. NW St. Francis, MM 55070
 St. Francis, MN 55070

If the applicant will contract for intoxicating liquor service give the name and address of the liquor license providing the service.

If the applicant will carry liquor liability insurance please provide the carrier's name and amount of coverage.
 West Bend Mutual Insurance Company \$1,000,000
 1900 South 18th Avenue
 West Bend, WI 53095

APPROVAL
 APPLICATION MUST BE APPROVED BY CITY OR COUNTY BEFORE SUBMITTING TO ALCOHOL AND GAMBLING ENFORCEMENT

City of St. Francis	March 5, 2018
City or County approving the license	Date Approved
Waived for City Celebration events (Pioneer Days)	June 8-10, 2018
Fee Amount	Permit Date
	city@stfrancismn.org
Date Fee Paid	City or County E-mail Address
	763-753-2630
	City or County Phone Number

Signature City Clerk or County Official _____ Approved Director Alcohol and Gambling Enforcement _____

CLERKS NOTICE: Submit this form to Alcohol and Gambling Enforcement Division 30 days prior to event.

ONE SUBMISSION PER EMAIL, APPLICATION ONLY.
PLEASE PROVIDE A VALID E-MAIL ADDRESS FOR THE CITY/COUNTY AS ALL TEMPORARY PERMIT APPROVALS WILL BE SENT BACK VIA EMAIL. E-MAIL THE APPLICATION SIGNED BY CITY/COUNTY TO AGE.TEMPORARYAPPLICATION@STATE.MN.US



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/30/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER West Bend Mutual Insurance Company 1900 South 16th Avenue West Bend WI 53095	CONTACT NAME: Customer Care PHONE (A/C No. Ext): (800)926-4244 FAX (A/C No.): (262)365-2200 E-MAIL ADDRESS: customercare@wbmi.com
	INSURER(S) AFFORDING COVERAGE
INSURED St Francis Lions Club PO Box 173 St Francis MN 55070	INSURER A: West Bend Mutual Insurance Company
	INSURER B:
	INSURER C:
	INSURER D:
	INSURER E:
	INSURER F:

COVERAGES **CERTIFICATE NUMBER:** 18-19 Master **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDITIONAL INSURED	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:		A107856	01/01/2018	01/01/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 FUNGI \$ 50,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory In MN) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A			PER STATUTE <input type="checkbox"/> OTHER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Liquor Liability		A107860	01/01/2018	01/01/2019	Each Common Cause 1,000,000 Aggregate 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Certificate holder is listed as Additional Insured on the Liquor Liability per form NS0260 and on the General Liability when required by written contract per form WB190.

CERTIFICATE HOLDER St Francis City Hall 23340 Cree St NW St Francis MN 55070-9390	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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**CITY COUNCIL
AGENDA REPORT**

Agenda Item #:

4D

TO: Joe Kohlmann, City Administrator
FROM: Barb Held, City Clerk
SUBJECT: Temporary On-Sale Liquor License
DATE: March 5, 2018

OVERVIEW:

St. Francis Lions Club is asking for City approval to sell strong beer/wine coolers during Pioneer Days this year, June 8-10th in Community Park. Last year was the first year they had a Temporary Liquor License in the park. In the past, they have had a permit for only 3.2 malt beverages in the Park. With this Temporary On-Sale Liquor License they have the option of selling craft beer/wine and liquor if they so choose. The Lions Club does carry liquor liability insurance and the certificate is attached. For historic purposes, the St. Francis Jaycees also had this type of permit when they sold beverages in Community Park during past Pioneer Days. Also with that, previous City Councils have waived all fees for these types of licenses during Pioneer Days. This application does need City Council approval before it is sent to the Department of Public Safety-Alcohol and Gambling Enforcement Division for their approval.

ACTION TO BE CONSIDERED:

Consideration to approve the St. Francis Lions Club Temporary On-Sale Liquor License for three (3) days during Pioneer Days June 8-10th and waiving the fee.

BUDGET IMPLICATION:

none

Attachments:

- Certificate of Liability Insurance
- State Application



Minnesota Department of Public Safety
 Alcohol and Gambling Enforcement Division
 445 Minnesota Street, Suite 222, St. Paul, MN 55101
 651-201-7500 Fax 651-297-5259 TTY 651-282-6555
**APPLICATION AND PERMIT FOR A 1 DAY
 TO 4 DAY TEMPORARY ON-SALE LIQUOR LICENSE**

Name of organization <i>St. Francis Lions</i>		Date organized <i>1968</i>	Tax exempt number	
Address <i>PO Box 173</i>		City <i>St. Francis</i>	State <i>MN</i>	Zip Code <i>55070</i>
Name of person making application <i>Kristin Ferguson</i>		Business phone <i>763 753 1265</i>	Home phone <i>763 300 0017</i>	
Date(s) of event <i>6-8-18 — 6-10-18</i>		Type of organization <input type="checkbox"/> Club <input type="checkbox"/> Charitable <input type="checkbox"/> Religious <input type="checkbox"/> Other non-profit		
Organization officer's name <i>Kristin Ferguson</i>	City <i>St. Francis</i>	State <i>MN</i>	Zip Code <i>55070</i>	
Organization officer's name	City	State <i>MN</i>	Zip Code	
Organization officer's name	City	State <i>MN</i>	Zip Code	
Organization officer's name	City	State <i>MN</i>	Zip Code	

Location where permit will be used. If an outdoor area, describe.

*22825 St. Francis Blvd NW
 Community Park Pavilion and Park area*

If the applicant will contract for intoxicating liquor service give the name and address of the liquor license providing the service.

If the applicant will carry liquor liability insurance please provide the carrier's name and amount of coverage.

*Westend Insurance Co Policy # A 10786001
 18th Ave Westend WI 53095 Policy 1-1-18 - 12-1-19
 million \$ coverage APPROVAL*

APPLICATION MUST BE APPROVED BY CITY OR COUNTY BEFORE SUBMITTING TO ALCOHOL AND GAMBLING ENFORCEMENT

City or County approving the license	Date Approved
Fee Amount	Permit Date
Date Fee Paid	City or County E-mail Address
	City or County Phone Number

Signature City Clerk or County Official

Approved Director Alcohol and Gambling Enforcement

CLERKS NOTICE: Submit this form to Alcohol and Gambling Enforcement Division 30 days prior to event.

ONE SUBMISSION PER EMAIL, APPLICATION ONLY.

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CERTIFICATE OF LIABILITY INSURANCE

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PRODUCER West Bend Mutual Insurance Company 1900 South 18th Avenue West Bend WI 53095	CONTACT NAME: Customer Care	
	PHONE (A/C, No, Ext): (866)926-4244	FAX (A/C, No): (262)365-2200
E-MAIL ADDRESS: customercare@wbmi.com		
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURED St Francis Lions Club PO Box 173 St Francis MN 55070	INSURER A: West Bend Mutual Insurance Company	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES **CERTIFICATE NUMBER:** 18-19 Master **REVISION NUMBER:**

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INSR LTR	TYPE OF INSURANCE	ADDITIONAL INSURED	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		A107856	01/01/2018	01/01/2019	EACH OCCURRENCE \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					MED EXP (Any one person) \$ Excluded
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					PERSONAL & ADV INJURY \$ 1,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NM) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				GENERAL AGGREGATE \$ 2,000,000
A	Liquor Liability		A107860	01/01/2018	01/01/2019	PRODUCTS - COMP/OP AGG \$ 2,000,000 FUNGI \$ 50,000 COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
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**CITY COUNCIL
AGENDA REPORT**

Agenda Item #:

4 E

TO: Joe Kohlmann, City Administrator
FROM: Darcy Mulvihill, Finance Director
SUBJECT: Bill List to be considered by Council
DATE: 03/01/2018

OVERVIEW:

Attached are the bills received since the last council meeting. Total checks to be written are \$70,233.82 plus any additional bills that are handed out on Monday night.

ACTION TO BE CONSIDERED:

Approved under consent agenda to allow Finance Director to draft checks or ACH withdrawals for the attached bill list. Please note additional bills may be handed out at the council meeting.

BUDGET IMPLICATION:

City bills

Attachments:

- 03-05-2018 Packet List



PAYMENT BATCH AP 03/05/18

ARK TOWING AND RECOVERY					
02/21/2018	88962	E 101-42110-441	Miscellaneous	ST FRANCIS POLICE TOW	181.00
					<u>\$181.00</u>
BELLBOY CORPORATION					
02/13/2018	62882300	E 609-49751-206	Freight and Fuel Charges	FREIGHT	17.05
02/13/2018	62882300	E 609-49751-251	Liquor For Resale	LIQUOR	1,432.30
					<u>\$1,449.35</u>
BERNICK COMPANIES, THE					
02/23/2018	410977	E 609-49751-252	Beer For Resale	BEER	175.60
					<u>\$175.60</u>
BREAKTHRU BEVERAGE					
01/11/2018	2080193487	E 609-49751-251	Liquor For Resale	LIQUOR	(84.80)
01/11/2018	2080193487	E 609-49751-253	Wine For Resale	WINE	(20.00)
01/25/2018	2080193957	E 609-49751-252	Beer For Resale	BEER	(23.10)
02/15/2018	1080760638	E 609-49751-206	Freight and Fuel Charges	FREIGHT	3.30
02/15/2018	1080760638	E 609-49751-251	Liquor For Resale	LIQUOR	252.00
02/22/2018	1080763521	E 609-49751-206	Freight and Fuel Charges	FREIGHT	41.25
02/22/2018	1080763521	E 609-49751-251	Liquor For Resale	LIQUOR	2,817.00
					<u>\$2,985.65</u>
CAPITOL BEVERAGE SALES, L.P					
02/19/2018	416762	E 609-49751-252	Beer For Resale	BEER	401.50
					<u>\$401.50</u>
CITY EMPLOYEES UNION, LOCAL #3					
02/14/2018	02202018	G 101-21707	Union Dues	MAINT UNION DUES MARCH 201	211.50
					<u>\$211.50</u>
CONNEXUS ENERGY					
02/20/2018	172195	E 101-41910-441	Miscellaneous	3757 BRIDGE STREET	15.43
					<u>\$15.43</u>
CRYSTAL SPRINGS ICE					
02/13/2018	021318	E 609-49751-254	Miscellaneous Merchandise	ICE CUBES	36.48
					<u>\$36.48</u>
DAHLHEIMER DIST. CO. INC.					
02/13/2018	169858	E 609-49751-251	Liquor For Resale	LIQUOR	(92.00)
02/14/2018	169514	E 609-49751-252	Beer For Resale	BEER	1,747.40
02/21/2018	1330661	E 609-49751-252	Beer For Resale	BEER	5,538.45
02/21/2018	1330661	E 609-49751-254	Miscellaneous Merchandise	MISC	264.00
					<u>\$7,457.85</u>
DOMAIN/HOSTING SRVCS					
02/14/2018	282-1848	E 101-41400-441	Miscellaneous	ANNUAL WEBSITE DOMAIN LIST	228.00
					<u>\$228.00</u>
G&K SERVICES, INC					
02/20/2018	6043199838	E 609-49750-219	Rug Maintenance	RUGS	11.23
02/20/2018	6043199839	E 101-41940-219	Rug Maintenance	RUGS	16.16
					<u>\$27.39</u>
GRANITE CITY JOBBING CO.					
02/20/2018	80654	E 609-49750-210	Operating Supplies	OPERATING	18.88

02/20/2018	80654	E 609-49751-206	Freight and Fuel Charges	FUEL	5.37
02/20/2018	80654	E 609-49751-256	Tobacco Products For Resale	TOBACCO	1,568.75
					<u>\$1,593.00</u>

GREAT LAKES COCA-COLA

02/16/2018	3643205203	E 609-49751-254	Miscellaneous Merchandise	MISC	1,393.06
					<u>\$1,393.06</u>

IACP

02/14/2018	31831	E 101-42110-433	Dues and Subscriptions	ANNUAL BILLING	525.00
					<u>\$525.00</u>

INNOVATIVE OFFICE SOLUTIONS, L

02/13/2018	IN1934544	E 101-42110-200	Office Supplies	OFFICE SUPPLIES	157.08
02/14/2018	IN1935735	E 101-42110-200	Office Supplies	OFFICE SUPPLIES	12.40
02/21/2018	IN1944044	E 101-42110-200	Office Supplies	OFFICE SUPPLIES	30.03
					<u>\$199.51</u>

ISD #15

02/20/2018	3607	E 101-42110-221	Vehicle Repair & Maintenance	2014 DODGE CHARGER	43.24
					<u>\$43.24</u>

JJ TAYLOR DISTRIBUTING

02/14/2018	2807488	E 609-49751-206	Freight and Fuel Charges	FREIGHT	3.00
02/14/2018	2807488	E 609-49751-252	Beer For Resale	BEER	2,072.00
02/21/2018	2807541	E 609-49751-206	Freight and Fuel Charges	FUEL	3.00
02/21/2018	2807541	E 609-49751-252	Beer For Resale	BEER	572.15
					<u>\$2,650.15</u>

JOHNSON BROS WHLSE LIQUOR

02/14/2018	5940319	E 609-49751-206	Freight and Fuel Charges	FREIGHT	160.14
02/14/2018	5940319	E 609-49751-251	Liquor For Resale	LIQUOR	7,151.73
02/14/2018	5940320	E 609-49751-206	Freight and Fuel Charges	FREIGHT	19.37
02/14/2018	5940320	E 609-49751-253	Wine For Resale	WINE	668.75
02/20/2018	668405	E 609-49751-251	Liquor For Resale	LIQUOR	(160.14)
02/21/2018	5945366	E 609-49751-206	Freight and Fuel Charges	FREIGHT	136.59
02/21/2018	5945366	E 609-49751-251	Liquor For Resale	LIQUOR	6,216.34
02/21/2018	5945367	E 609-49751-206	Freight and Fuel Charges	FREIGHT	18.84
02/21/2018	5945367	E 609-49751-253	Wine For Resale	WINE	600.60
					<u>\$14,812.22</u>

LAW ENFORCEMENT LABOR SVCS.

02/14/2018	02202018	G 101-21707	Union Dues	POLICE UNION DUES MARCH 20	392.00
02/14/2018	02202018	G 101-21707	Union Dues	POLICE UNION DUES MARCH 20	83.71
					<u>\$475.71</u>

MCDONALD DIST CO.

	436400	E 609-49751-252	Beer For Resale	BEER	6,325.55
02/15/2018	435630	E 609-49751-252	Beer For Resale	BEER	4,245.35
02/22/2018	436609	E 609-49751-252	Beer For Resale	BEER	(76.25)
					<u>\$10,494.65</u>

METRO SALES, INC.

02/16/2018	INV1010892	E 101-41400-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 101-42110-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 101-42400-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 101-43100-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 101-45200-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 601-49440-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 602-49490-200	Office Supplies	COPIES	3.55
02/16/2018	INV1010892	E 609-49750-200	Office Supplies	COPIES	3.58
					<u>\$28.43</u>

MY ALARM CENTER

03/01/2018	10216325	E 609-49750-445	Security	LIQUOR STORE ALARM	39.15
					<u>\$39.15</u>

OPUS 21

02/22/2018	180114	E 601-49440-382	Utility Billing	UTILITY BILLING	1,575.10
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02/22/2018	180114	E 602-49490-382	Utility Billing	UTILITY BILLING	1,575.10
					<u>\$3,150.20</u>

PAUSTIS WINE COMPANY

02/12/2018	839	E 609-49751-206	Freight and Fuel Charges	FREIGHT	12.50
02/12/2018	839	E 609-49751-253	Wine For Resale	WINE	985.00
					<u>\$997.50</u>

PHILLIPS WINE & SPIRITS CO.

02/14/2018	2310336	E 609-49751-206	Freight and Fuel Charges	FREIGHT	4.71
02/14/2018	2310336	E 609-49751-251	Liquor For Resale	LIQUOR	334.50
02/14/2018	2310337	E 609-49751-206	Freight and Fuel Charges	FREIGHT	3.14
02/14/2018	2310337	E 609-49751-253	Wine For Resale	WINE	182.00
02/21/2018	2313574	E 609-49751-206	Freight and Fuel Charges	FREIGHT	9.42
02/21/2018	2313574	E 609-49751-251	Liquor For Resale	LIQUOR	721.15
02/21/2018	2313575	E 609-49751-206	Freight and Fuel Charges	FREIGHT	20.41
02/21/2018	2313575	E 609-49751-253	Wine For Resale	WINE	896.00
					<u>\$2,171.33</u>

QUILL CORPORATION

02/13/2018	11473	E 101-41400-200	Office Supplies	OFFICE SUPPLIES	17.18
02/13/2018	11474	E 101-42210-200	Office Supplies	NAME PLATES	28.58
					<u>\$45.76</u>

ROSEVILLE, CITY OF

02/16/2018	0224178	E 101-41110-310	Computer Consulting Fees	IT SERVICES	74.30
02/16/2018	0224178	E 101-41400-310	Computer Consulting Fees	IT SERVICES	241.48
02/16/2018	0224178	E 101-42110-310	Computer Consulting Fees	IT SERVICES	854.49
02/16/2018	0224178	E 101-42210-310	Computer Consulting Fees	IT SERVICES	137.46
02/16/2018	0224178	E 101-42400-310	Computer Consulting Fees	IT SERVICES	68.77
02/16/2018	0224178	E 101-43100-310	Computer Consulting Fees	IT SERVICES	74.30
02/16/2018	0224178	E 101-45200-310	Computer Consulting Fees	IT SERVICES	74.30
02/16/2018	0224178	E 601-49440-310	Computer Consulting Fees	IT SERVICES	74.30
02/16/2018	0224178	E 602-49490-310	Computer Consulting Fees	IT SERVICES	74.30
02/16/2018	0224178	E 609-49750-310	Computer Consulting Fees	IT SERVICES	37.15
02/23/2018	0224238	E 101-41110-310	Computer Consulting Fees	IT SERVICES	298.32
02/23/2018	0224238	E 101-41400-310	Computer Consulting Fees	IT SERVICES	969.56
02/23/2018	0224238	E 101-42110-310	Computer Consulting Fees	IT SERVICES	3,430.77
02/23/2018	0224238	E 101-42210-310	Computer Consulting Fees	IT SERVICES	551.90
02/23/2018	0224238	E 101-42400-310	Computer Consulting Fees	IT SERVICES	276.01
02/23/2018	0224238	E 101-43100-310	Computer Consulting Fees	IT SERVICES	298.32
02/23/2018	0224238	E 101-45200-310	Computer Consulting Fees	IT SERVICES	298.32
02/23/2018	0224238	E 601-49440-310	Computer Consulting Fees	IT SERVICES	298.32
02/23/2018	0224238	E 602-49490-310	Computer Consulting Fees	IT SERVICES	298.32
02/23/2018	0224238	E 609-49750-310	Computer Consulting Fees	IT SERVICES	149.16
					<u>\$8,579.85</u>

SOUTHERN GLAZERS OF MN

		E 609-49751-206	Freight and Fuel Charges	FREIGHT	84.91
		E 609-49751-251	Liquor For Resale	LIQUOR	6,165.91
02/22/2018	1652047	E 609-49751-206	Freight and Fuel Charges	FREIGHT	17.92
02/22/2018	1652047	E 609-49751-251	Liquor For Resale	LIQUOR	984.90
					<u>\$7,253.64</u>

ST. FRANCIS TRUE VALUE HARDWAR

01/12/2018	40409	E 101-43100-441	Miscellaneous	WIRE CLIPS	2.28
					<u>\$2.28</u>

STERLING TROPHY

01/30/2018	21893	E 101-42210-437	Uniform Allowance	PLASTIC TAGS	78.74
					<u>\$78.74</u>

SUN LIFE FINANCIAL

02/20/2018	02202018	E 101-41400-130	Employer Paid Insurance	INSURANCE	202.03
02/20/2018	02202018	E 101-41500-130	Employer Paid Insurance	INSURANCE	132.13
02/20/2018	02202018	E 101-41910-130	Employer Paid Insurance	INSURANCE	197.27
02/20/2018	02202018	E 101-42110-130	Employer Paid Insurance	INSURANCE	863.85
02/20/2018	02202018	E 101-42400-130	Employer Paid Insurance	INSURANCE	63.51
02/20/2018	02202018	E 101-43100-130	Employer Paid Insurance	INSURANCE	189.33

02/20/2018	02202018	E 101-43210-130	Employer Paid Insurance	INSURANCE	42.08
02/20/2018	02202018	E 101-45200-130	Employer Paid Insurance	INSURANCE	189.33
02/20/2018	02202018	E 601-49440-130	Employer Paid Insurance	INSURANCE	60.26
02/20/2018	02202018	E 602-49490-130	Employer Paid Insurance	INSURANCE	60.26
02/20/2018	02202018	E 609-49750-130	Employer Paid Insurance	INSURANCE	128.10
					<u>\$2,128.15</u>

VINOCOPIA, INC.					
02/23/2018	0201279-IN	E 609-49751-206	Freight and Fuel Charges	FREIGHT	2.50
02/23/2018	0201279-IN	E 609-49751-253	Wine For Resale	WINE	400.00
					<u>\$402.50</u>

FUND SUMMARY \$70,233.82

101 GENERAL FUND	\$11,567.91
601 WATER FUND	\$2,011.53
602 SEWER FUND	\$2,011.53
609 MUNICIPAL LIQUOR FUND	\$54,642.85
Total	<u><u>70,233.82</u></u>

Charter Commission
AGENDA REPORT

Agenda Item #:

7A

TO: Honorable Mayor & City Council
FROM: Joe Kohlmann, City Administrator
SUBJECT: **Ordinance 238, Second Series - City Charter Amendments – Sections 4.05 and Section 7.06**
DATE: March 5th, 2018

OVERVIEW:

The Charter Commission held their annual meeting on February 1st, 2018. There were two main items of business discussed. Staff had identified two housekeeping items to revise in the City Charter. They were both unanimously approved by the Charter Commission. They are described below:

- 1) Section 4.05 – text amendment to provide the City with more latitude to sign official documents. As stated in the Charter, the Mayor would need to sign almost every document with the City Clerk attesting to it. In recent years with the number of documents the City signs, this is not practical and wider latitude should be extended to ensure the appropriate City Official signs the appropriate document (a good example is the Police Chief's signature on law enforcement documents).
- 2) Section 7.06 – text amendment to allow the City Council to hear the budget as a primary item of business on the 1st or 2nd Meeting in September. MN Statutes have changed to allow cities to certify their preliminary levy by September 30th vs. the previous requirement of September 15th. This change allows the Council one additional meeting to hear the budget and set the preliminary levy.

Action to be considered:

Adopt Ordinance 238, Second Series. An ordinance amending the City Charter Sections 4.05 and 7.06.

Attachments: Staff Reports to the Charter about the proposed changes, Public Notice and Ordinance.



**Charter Commission
AGENDA REPORT**
Agenda Item #:

TO: Charter Commission
FROM: Joe Kohlmann, City Administrator
SUBJECT: Charter Amendment Section 4.05
DATE: February 1st, 2018

OVERVIEW:

The first housekeeping item Staff has identified in the City Charter is Section 4.05. This particular Section references that the Mayor shall sign all contracts and it will be attested by the City Clerk. As a practical matter, there are intergovernmental contracts and vendor contracts that require signatures from various Staff members. In addition, the Mayor Pro Tem addition will allow for flexibility if the Mayor is unavailable. The Mayor Pro Tem edit also allows for signatures on minutes, resolutions or ordinances when the Mayor is absent.

As a matter of practice, City Staff seeks approval of contracts through the City Council. The suggested edits are just to allow flexibility for the proper signatures as they may be applicable to contracts.

Below is the Section with suggested edits:

Section 4.05. Filing and Execution of Documents. Unless otherwise specifically provided, filing of all documents provided for in this Charter or the Ordinances of the City shall be at the administrative offices the City. All contracts with the City, Ordinances and Resolutions of the Council, and other documents, shall be executed in the name of the City and signed by the appropriate city officer such as the Mayor, Mayor Pro Tem, City Administrator or their designee and attested by the City Clerk.

Action to be considered:

Consider and discuss the proposed amendments to Section 4.05.



**Charter Commission
AGENDA REPORT**
Agenda Item #:

TO: Charter Commission
FROM: Joe Kohlmann, City Administrator
SUBJECT: **Charter Amendment Section 7.06**
DATE: February 1st, 2018

OVERVIEW:

The second housekeeping item Staff has identified is regarding the date the budget will be presented. Per state law change as reflected below, the date to adopt the preliminary tax levy has been changed from September 15th to September 30th:

(From League of MN Cities)

IV. Taxation notification procedure

The table below outlines the annual taxation notification procedure and deadlines (sometimes called "truth in taxation" or "TNT"). The deadline for cities to adopt the preliminary tax levy and certify it to the county auditor is Sept. 30. New this year, the deadline for "special taxing districts," such as economic development authorities (EDAs), housing and redevelopment authorities (HRAs), port authorities, and others, is Sept. 30. Previously, the deadline for special taxing districts deadline was Sept. 15.

In order to be consistent with the flexibility provided by State Law, Staff is proposing the following edits to Section 7.06:

Section 7.06. Adoption of the Budget. The budget shall be the principal item of the business at the ~~first regular monthly meeting~~ first or second regular monthly meeting of the Council in September and the Council shall hold continued meetings from time to time until all the estimates have been considered. The budget estimates may be read in full, or copies thereof distributed, and the officer preparing the same shall explain the various items thereof as carefully as may be deemed necessary by the Council. The meetings shall be conducted so as to give interested citizens a reasonable opportunity to be heard. The annual budget finally agreed upon shall set forth in detail the complete financial plan of the City for the ensuing fiscal year for the funds budgeted. It shall indicate the funds to be raised and from what sources and the sums to be spent and for what purposes. The total sum appropriated shall not exceed the total estimated revenue. The Council shall adopt the budget, at the time required by law, by a resolution which shall set forth the total for each budgeted fund and each department with such segregation as to



objects and purposes of expenditures as the Council deems necessary for the purposes of the budget control. The Council shall also adopt a resolution levying whatever taxes it considers necessary within statutory limits for the ensuing year for each fund. The tax levy resolution shall be certified to the County Auditor in accordance with law. At the beginning of the fiscal year the sums fixed in the budget resolution shall be and become appropriated for the several purposes named in the budget resolution and no other.

Action to be considered:

Consider and discuss the proposed amendments to Section 7.06.

AFFIDAVIT OF PUBLICATION

STATE OF MINNESOTA) ss
COUNTY OF ANOKA

Darlene MacPherson being duly sworn on an oath, states or affirms that he/she is the Publisher's Designated Agent of the newspaper(s) known as:

Anoka County Union Herald

with the known office of issue being located in the county of:

ANOKA

with additional circulation in the counties of:
ANOKA

and has full knowledge of the facts stated below:

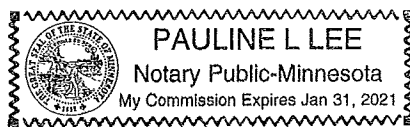
- (A) The newspaper has complied with all of the requirements constituting qualification as a qualified newspaper as provided by Minn. Stat. §331A.02.
- (B) This Public Notice was printed and published in said newspaper(s) once each week, for 1 successive week(s); the first insertion being on 02/23/2018 and the last insertion being on 02/23/2018.

MORTGAGE FORECLOSURE NOTICES
Pursuant to Minnesota Stat. §580.033 relating to the publication of mortgage foreclosure notices: The newspaper complies with the conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

By: D. MacPherson
Designated Agent

Subscribed and sworn to or affirmed before me on 02/23/2018 by Darlene MacPherson.

Pauline L Lee
Notary Public



Rate Information:

(1) Lowest classified rate paid by commercial users for comparable space:
\$20.00 per column inch

Ad ID 786845

CITY OF ST. FRANCIS ST. FRANCIS, MN ANOKA COUNTY PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that the St. Francis City Council will be conducting a Public Hearing on March 5 2018, at 6:00 pm or shortly thereafter. The Public Hearing will be conducted at the Independent School District #15 Offices located at 4115 Ambassador Blvd. St. Francis, MN 55070.

The purpose of the Public Hearing is to consider the proposed amendments to the current City Charter as follows:

CHAPTER 4:

Section 4.05. Filing and Execution of Documents. Unless otherwise specifically provided, filing of all documents provided for in this Charter or the Ordinances of the City shall be at the administrative offices the City. All contracts with the City, Ordinances and Resolutions of the Council, and other documents, shall be executed in the name of the City and signed by the appropriate city officer such as the Mayor, Mayor Pro Tem, City Administrator or their designee and attested by the City Clerk: or their designee.

CHAPTER 7:

Section 7.06. Adoption of the Budget. The budget shall be the principal item of the business at the first regular monthly meeting first or second regular monthly meeting of the Council in September and the Council shall hold continued meetings from time to time until all the estimates have been considered. The budget estimates may be read in full, or copies thereof distributed, and the officer preparing the same shall explain the various items thereof as carefully as may be deemed necessary by the Council. The meetings shall be conducted so as to give interested citizens a reasonable opportunity to be heard. The annual budget finally agreed upon shall set forth in detail the complete financial plan of the City for the ensuing fiscal year for the funds budgeted. It shall indicate the funds to be raised and from what sources and the sums to be spent and for what purposes. The total sum appropriated shall not exceed the total estimated revenue. The Council shall adopt the budget, at the time required by law, by a resolution which shall set forth the total for each budgeted fund and each department with such segregation as to objects and purposes of expenditures as the Council deems necessary for the purposes of the budget control. The Council shall also adopt a resolution levying whatever taxes it considers necessary within statutory limits for the ensuing year for each fund. The tax levy resolution shall be certified to the County Auditor in accordance with law. At the beginning of the fiscal year the sums fixed in the budget resolution shall be and become appropriated for the several purposes named in the budget resolution and no other.

All interested parties are encouraged to attend the Public Hearing. Verbal and written testimony regarding the request will be accepted during the Hearing. A copy of

the proposed amendments to the City Charter may be obtained by contacting the City of St. Francis, 23340 Cree St. NW 55070 or by calling 763-753-2630.
Barbara I. Held
City Clerk

Published in the
Anoka County UnionHerald
February 23, 2018
786845

CITY OF ST. FRANCIS
ST. FRANCIS, MN
ANOKA COUNTY

ORDINANCE 238, SECOND SERIES

AN ORDINANCE AMENDING THE CITY CHARTER
RELATING TO SECTION 4.05 "FILING AND EXECUTION OF DOCUMENTS"
AND SECTION 7.06 "ADOPTION OF THE BUDGET"

THE CITY OF ST. FRANCIS ORDAINS:

Section 1. Charter Revised. That Chapter 4, Section 4.05, of the St. Francis City Charter be amended as follows:

Section 4.05. Filing and Execution of Documents. Unless otherwise specifically provided, filing of all documents provided for in this Charter or the Ordinances of the City shall be at the administrative offices the City. All contracts with the City, Ordinances and Resolutions of the Council, and other documents, shall be executed in the name of the City and signed by the appropriate city officer such as the Mayor, Mayor Pro Tem, City Administrator or their designee and attested by the City Clerk- or their designee.

Section 2. Charter Revised. That Chapter 7, Section 7.06. of the St. Francis City Charter be amended as follows:

Section 7.06. Adoption of the Budget. The budget shall be the principal item of the business at the ~~first regular monthly meeting~~ first or second regular monthly meeting of the Council in September and the Council shall hold continued meetings from time to time until all the estimates have been considered. The budget estimates may be read in full, or copies thereof distributed, and the officer preparing the same shall explain the various items thereof as carefully as may be deemed necessary by the Council. The meetings shall be conducted so as to give interested citizens a reasonable opportunity to be heard. The annual budget finally agreed upon shall set forth in detail the complete financial plan of the City for the ensuing fiscal year for the funds budgeted. It shall indicate the funds to be raised and from what sources and the sums to be spent and for what purposes. The total sum appropriated shall not exceed the total estimated revenue. The Council shall adopt the budget, at the time required by law, by a resolution which shall set forth the total for each budgeted fund and each department with such segregation as to objects and purposes of expenditures as the Council deems necessary for the purposes of the budget control. The Council shall also adopt a resolution levying whatever taxes it considers necessary within statutory limits for the ensuing year for each fund. The tax levy resolution shall be certified to the County Auditor in accordance with law. At the beginning of the fiscal year the sums fixed in the budget resolution shall be and become appropriated for the several purposes named in the budget resolution and no other.

Section 3. Effective Date. This Ordinance shall take effect 90 days after its publication.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF ST. FRANCIS
THIS ____ DAY OF _____, 2018.

APPROVED:

Steven D. Feldman, Mayor

ATTEST:

Barbara I. Held, City Clerk

City of St Francis Planning Commission Agenda Item
Executive Summary

Title of Item: **CONDITIONAL USE PERMIT & VARIANCES:** A request from A.L.S. Properties Woodhaven, LLC, to allow an expansion of approximately 55 new pads to the existing Woodhaven Manufactured Home Community on currently undeveloped land to the north of 234th Avenue NW – PIDs 31-34-24-14-0002 and 31-34-24-14-0001. Variances are requested to allow two building pads closer than 75' feet to public right of way (Hwy 47).

Meeting Date: **3-5-18**

Staff Reporting: **Ben Gozola, City Planner**

Summary: The applicant is proposing to expand the existing Woodhaven Manufactured Home park by adding fifty-five (55) new building pads on land to the North and East of the existing park. Since the original submittal in November, the plans have been through a number of revisions based on feedback from the planning commission and staff. Additionally, both staff and MnDOT have reviewed the proposed variances and find no issues with the proposed building locations. **Because of the timeframe to complete the Planning Commission review and the pending 15.99 deadline, a decision must be made at this meeting.**

Recommendations:

- **Approval of the CUP subject to conditions listed on pages 21 through 23 of the staff report**
- **Approval of the requested right-of-way setback variances for units 1 and 17.**

List of Attachments:

- A) *Staff Report*
- B) *Engineering Memo (dated 2-13-18)*
- C) *MnDOT Letter (dated 12-21-17)*
- D) *Plowe Engineering (Applicant) Memo (Feb 26th)*
- E) *Plowe Engineering (Applicant) Memo (Jan 29th)*
- F) *Applicant's latest submittals (dated 2-26-18)*
- G) *Draft Resolution of Approval*
- H) *Draft Resolution of Denial*

City of St. Francis Planning Department
CUP Report

To: **City Council**

From: Ben Gozola, City Planner

Meeting Date: **3-5-18**

Applicant: **A.L.S. Properties Woodhaven, LLC**

Property Owner: (same)

Location: 23358 St Francis Boulevard

Zoning: **R-3 and B-2**

Introductory Information

Project: The applicant is proposing to expand the existing Woodhaven Manufactured Home park by adding fifty-five (55) new building pads on land to the North and East of the existing park.

CUP Request(s): The application is requesting a conditional use permit to "establish, construct, and maintain a manufactured home park."

PC Reviews: On December 20th, 2017, the planning commission reviewed the first iteration of this development plan and learned that MnDOT had just issued a letter stating that access to Hwy 47 was being denied. The commission was not comfortable proceeding with a conditional recommendation, and elected to table the matter asking the applicant to address access issues and outstanding engineering matters. The applicant returned to the Commission on February 21st with revised plans eliminating the highway access and adding a second entry point to the south. While some issues still remained, both staff and the Planning Commission felt approval with conditions was appropriate at this time. Recommendation for Approval passed on a 4 – 2 – 0 vote. Those not in favor did not articulate specific reasons for their dissent.

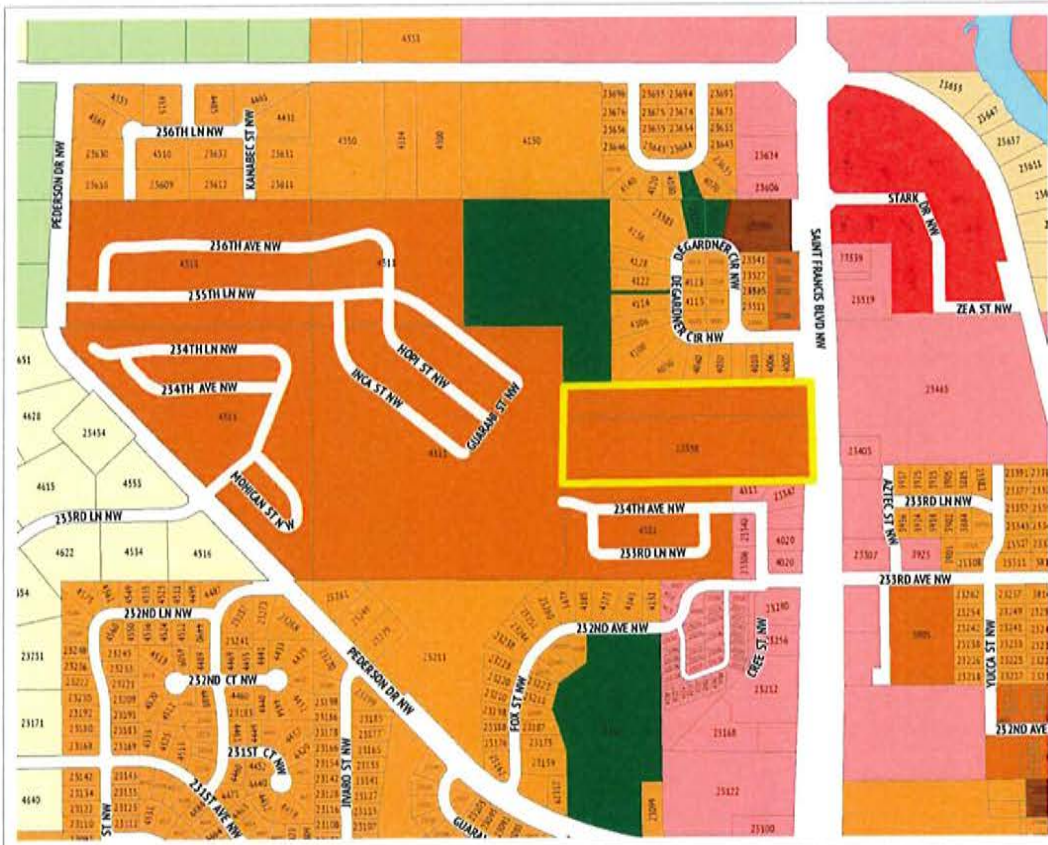
Findings

Site Data:

- Lot Size ≈ 14.79 acres (currently split between two parcels that would need to be combined via an administrative subdivision request)
- Existing Use – single family home site / farmland
- Existing Zoning – R-3 and B-2
- Property Identification Numbers (PIDs): 31-34-24-14-0001 & 31-34-24-14-0002

**Comp Plan
Guidance:**

- The comprehensive plan places a dual-guidance on these properties (both medium density residential use and commercial use along the highway). The City's zoning map also includes this dual-designation. Per analysis provided by the City Attorney, the City may proceed with processing the land use application for a single land use without having to rezone or re-guide the property in the current Comprehensive Plan, but they do recommend the City clean up these designations in the upcoming update of the Comprehensive Plan.



23358 St Francis Boulevard



Location within the City of St Francis



SITE IDENTIFICATION MAP



Application Review:

Applicable Code Definitions:

COMMON OPEN SPACE: Any open space including parks, nature areas, playgrounds, trails and recreational buildings and structures, which is an integral part of a development and is not owned on an individual basis by each owner of the dwelling unit.

CONDITIONAL USE: A use which, because of special problems of control the use presents, requires reasonable, but special, unusual and extraordinary limitations peculiar to the use for the protection of the public welfare and the integrity of the City Comprehensive Plan.

CONDITIONAL USE PERMIT: A permit issued by the City Council in accordance with procedures specified in this Ordinance, as a flexibility device to enable the City Council to assign dimensions to a proposed use or conditions surrounding it after consideration of adjacent uses and their functions and the special problems which the proposed use presents.

IMPERVIOUS SURFACE: Any man-made area that alters the natural surface course for, or does not allow for, the natural rate of absorption or retention of storm water including buildings, pavement, gravel, and other such surfaces.

MANUFACTURED HOME: A structure, transportable in one or more sections, which in the traveling mode is eight (8) body feet or more in width or forty (40) body feet or more in length, or when erected on-site, is three hundred twenty (320) or more square feet, and which is built on a permanent chassis and designed to be used as a dwelling with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air-conditioning, and electrical systems contained therein; except that the term includes any structure which meets all the requirements and with respect to which the manufacturer voluntarily files a certification required by the Secretary of State and complies with the standards established under Minnesota Statutes chapter 327.

MANUFACTURED HOME PARK: Any site, lot, field, or tract of land upon which two (2) or more occupied manufactured homes are located, either free of charge or for compensation, and includes any building, structure, tent, vehicle, or enclosure used or intended for use as part of the equipment of the manufactured home park.

MODEL HOME: A home which is similar to others in a development and which is open to public inspection for the purpose of selling said other homes.

Applicable Codes:

- **Chapter 4, Section 4: Manufactured Home Parks**
Outlines the general standards required for all manufactured home parks within the City of St. Francis.
- **Chapter 10, Section 6: Conditional Use Permits**
Outlines the general standards required of all conditionally permitted uses within the City of St. Francis.
- **Chapter 10, Section 58: R-3 Medium Density Residential District**
Outlines allowed uses within the R-3 zoning district. Manufactured home parks as regulated by Section 4-4 of the City Code are conditionally permitted.

**Applicant's
Project
Description:**

- **With regards to the existing use on the property:** *"The current parcels under consideration for expansion of the Woodhaven Community are vacant farm land and accompanying farm house and barn."*
- **With regards to the proposed use:** *"Section 4-4-3 of the St. Francis City Code requires a Conditional Use Permit to establish, construct and maintain a manufactured home park in St. Francis."*
 - *Notwithstanding that the site has the proper zoning under medium density residential, the code requires the CUP. The site does have portions of the parcels that are currently guided for commercial, but are proposed under the City Comprehensive Plan to consolidate to medium density residential. This proposal will accomplish that transition.*
 - *The expansion will not have an office. Business operations will be run from the existing office in Woodhaven West. Office hours are Monday through Friday, 9 am to 5 pm and weekends by appointment. Maintenance staff is available upon request during business hours or available after hours in the event of an emergency on the property emergency line.*
 - *Use is intended to remain on the site in perpetuity until the land is redeveloped or the manufactured home park closes.*
 - *This CUP is for expansion of an existing Manufactured Home Community."*
- **With regards to landscaping:**
 - *"...Landscaping will be provided in the buffer areas on the northern portions of the site and adjacent to the Highway 47 corridor. The offerings to the north are intended to blend with the existing and mature tree line, wetlands, and ponding areas. The landscaping along 47 will provide some cover and buffering from vehicle noise and site lines and tasteful finishes to the ingress/egress roadway.*
 - *Through out the expansion areas trees will be planted in appropriate areas that do not inhibit the transport and install of homes but will enhance the green spaces and overall aesthetics of the community. The idea is to provide home owners a privacy feel within a multiunit development." [sic]*
- **With regards to how the CUP fits the City's Comprehensive Plan:** *"The existing manufactured home community to which the subject property would be attached is zoned medium density residential. The subject parcels are guided medium density residential and partially commercial on the current comprehensive plan with the new compressive plan establishing the complete parcel as medium family residential."*

- (cont.)
- **With regards to impacts on water resources/ surface waters:** *"The homes scheduled for this property will have the same effect on water resources as any typical single family home site as far as water consumption and waste water and storm water treatment. The only alteration of surface water will be the addition of post construction versus that of undeveloped preconstruction. Appropriate drainage and site accommodations have been implemented in the design to accommodate the required handling changes due to construction of the proposed use. The watershed district requirements have been considered in dealing with drainage and wetland protection."*
 - **With regards to grading and erosion:** *"The manufactured home area of the site consists of approximately 13.25 acres. There is also approximately 1.55 acres of designated wetland. Actual quantities of soils moved will be set forth by construction design. Developer does not anticipate significant soil issues. The site is relatively flat and there are no significant slopes that would be troublesome for erosion. Standard precautions and care will be provided during construction to minimize any erosion and runoff into wetland areas."*
 - **With regards to parks, trails, or other unique resources:**
 - *"There is a pedestrian sidewalk adjacent to Highway 47 that abuts the property's eastern boundary.*
 - *The expansion area for Woodhaven as proposed will access the existing park and trail system for the overall Woodhaven Community. All Woodhaven residents have full access to the Community Center for events and private use. Adjacent to the Community Center is a park with swing sets, teeter-totter, basketball court, multi event play sets, picnic tables, bike racks, volleyball and green areas for frisbee, picnics or other games and gatherings.*
 - *Each existing section of the Woodhaven Community is joined to the other by trail. Woodhaven V has a trail around a large pond. The connection from Woodhaven West to Woodhaven East is by floating walkway through a wetland. It is quite a scenic walk full of wildlife and beautiful landscapes. The new expansion will join this network at the east end access. Residents will also have the ability to hop on the paved bike and walk trail adjacent to Highway 47 providing easy access to shopping, services and retail to the South of the property." [sic]*

- (cont.)
- **With regards to storage:** *"The Woodhaven expansion area will be governed by the same lease and rules and regulations as all other sections of the Woodhaven Community. This includes rules relating to the storage of personal property at each home site. Our property management staff is diligent in working to keep personal property such as boats and trailers, campers etc... off of the home sites. To the end, Woodhaven has a storage yard area available to residents. A copy of the storage yard agreement [was provided with our application]. It is designed to make sure that all items are operations, current on tabs and licensing and insured." [sic]*

 - **With regards to other additional information that would be helpful to the City in reviewing this application:**
 - *"Developer is a known quantity. A.L.S. Properties has owned, operated and developed much of the Woodhaven development. Also A.L.S. developed the St. Francis Woods single family housing development off Pederson Dr. NW."*
 - *Developer has adequate funds for timely completion of the project.*
 - *Developer is well experienced in the development, operation and care for the Woodhaven Community and been in the manufactured housing industry since 1970.*
 - *Retail and installation of the homes will be completed by the developer or agents of the developer in the same fashion as the existing portion of the property."*

 - **With regards to all review criteria:** *"The proposed development meets or exceeds all criteria established for the development of a manufactured home community as set forth in the R3 zoning and Section 4 of the St. Francis City Code. Further, this addition to the Woodhaven Community meets MN State Department of Health licensing criteria, MN Stat. 1330 for storm shelter and HUD federal requirements for manufactured home communities."*

 - **With regards to updates since the 12/20/17 Planning Commission Review.** Attached to this report are two memos from Plowe Engineering (the first dated 1/29/18, and the second dated 2/26/18) that outlines all changes incorporated into the plans since the original submittal.

**Manufactured
Home Park
Standards:**

- There are no specific CUP standards listed in code for this type of conditionally permitted use, but there are a number of site requirements listed in section 4-4-5 of City Code which are reviewed and described herein.

**CUP Standards
Review:**

Issuance of a CUP requires an analysis of the proposed use against the specific review criteria established in code. Staff has reviewed the City's criteria for conditionally permitted uses, and we offer the following analysis for consideration:

General review Criteria (Section 10-6-3):

1. ***The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the Official City Comprehensive Plan.***

Staff Comment: The city's Comprehensive Plan calls for the properties in question to be used for a combination of medium density residential and commercial uses, but per analysis by the City Attorney on current case law, the City may proceed with processing the land use application for the proposed single land use without having to rezone or re-guide the property in the current Comprehensive Plan. **Criteria met.**

2. ***The proposed use is or will be compatible with present and future land uses of the area.***

Staff Comment: The site is adjacent to—and would be an expansion of—the existing Woodhaven Manufactured Home Park. Inadequate highway access (the site is limited to a right-in/right-out by MnDOT) largely precludes the area from being a viable commercial site, so utilization of the land for medium density residential use is logical, and is the direction the City appears to be moving within its draft 2018 Comprehensive Plan. To the south are existing Woodhaven pads and a large storage facility, and to the north are single-family home sites. Provided required landscaping is installed and all other regulations are followed, staff has no reason to find the proposed use will not be compatible with surrounding lands. **Criteria met.**

3. ***The proposed use conforms with all performance standards contained in this Ordinance.***

Staff Comment: The following is a summary of the various performance standards listed in code (see Chapter 4, Section 4 - 4 - 5):

- A. ***Every manufactured home park shall be located on a well-drained area and the premises shall be properly guarded so as to prevent the accumulation of storm or other waters.***

The Engineering review memo from HAA dated 2/13/18 (see attached) includes the following comments relating to grading, drainage, and stormwater management:

1. The stormwater calculations depict an increase in the central wetland flood elevation. Additional ponding may be required such that the HWL in the proposed condition is equal to or less than the HWL in the existing condition.

(cont.)

2. Revise the wetland outlet elevation as per Stormwater Calculations comment # 1.
3. Approximately 1.63 acres of watershed that drains to the wetland to the west in the existing condition is proposed to be routed to the central wetland in the proposed condition. Consider adding an infiltration basin such that this sub- watershed can continue to drain to the west.
4. Pre-treatment is required in advance of the infiltration basins. Please incorporate into the plans.
5. The infiltration basins depicted on the plans must provide 3 feet of separation from the seasonal high water table. Please provide survey shots on the water surface elevations of the wetlands located on the site for comparison to the elevations reported in the soil borings (drilled in January).
6. The current grading and/or silt fence encroaches into the wetland buffers.
7. Please provided a restoration plan and specifically shade the areas that must be restored with wetland buffer seed mix. Include a restoration plan inclusive of proposed seed mix and construction sequence.
8. The stormwater system, once constructed, will be a private system and the owner shall enter into a maintenance agreement with the City to ensure the long term operation and maintenance.
9. Depict wetland edge on western side of property, near western access road.
10. Dual sediment controls are required when grading within 100 feet of a surface water.
11. Pond 2 inlet is too close to outlet to meet short circuiting standards. Separation must be at least 50% of the pond length.

Expanding on the above, the memo also provides the following points specifically on the provided stormwater management calculations:

1. The stormwater calculations model a starting elevation of 908.0 for the wetland, however, the invert elevation of the outlet is at an elevation of 911.0. Lower the outlet elevation to the starting elevation and utilize a control structure as necessary to control the discharge rates and elevations. Note: the starting elevation shall be consistent with the water surface elevation as determined per Grading comment #5 above.

(cont.)

2. There are inconsistencies between impervious areas calculations. SWPPP states 6.36 acres impervious. Storm water report states 5.54 acres and stormwater calculations state 4.98 acres. Please revise. Note: impervious area that does not drain to a basin still needs to be accounted for volume control calculations.
3. Approximately 1.63 acres of watershed that drains to the wetland to the west in the existing condition is proposed to be routed to the central wetland in the proposed condition. It is recommended that the proposed drainage divides more closely mimic the existing drainage divides.
4. The proposed HWL of the central wetland does not appear to meet freeboard standards for the existing home adjacent to the wetland, north of this site. Verify.
5. We strongly encourage the stormwater to be managed such that there is not additional volume routed to the central wetland in the proposed condition vs. existing for the 100-year critical flood event.
6. Provide calculations to show that water quality volume is infiltrated within the 48 hour drawdown maximum.
7. The entire contributing area to the watersheds must be delineated and modeled, including off-site runoff that contributes to or may affect the elevations of water bodies located on the site. This includes impervious area calculations as well as accurate time of concentration calculations and curve numbers. See redline notes in stormwater calculations and revise as necessary.

While there clearly are a number of stormwater management concerns still linked to the proposed project, staff is comfortable recommending approval of the project subject to all engineering comments being successfully addressed prior to the issuance of any permits for the site (grading permits, building permits, etc).

NOTE: Staff received updated plans from the applicant on 2/27/18 that sought to address all engineering issues prior to Council review. Unfortunately, HAA did not have ample time to respond to the updates prior to delivery of this report, so a representative from HAA will be present at the meeting to identify what, if anything, is still outstanding. Even if some details remain, staff finds this **criteria can be met with conditions**.

(cont.)

- B.** *Each unit shall have a gross area of not less than 6,000 square feet excluding roadway.*

The provided site plan shows individual pads for each of the proposed manufactured homes, and the smallest "lots" are 60 x 100 with most pseudo-lots exceeding the minimum standard. As a whole, this site is clearly large enough to accommodate the proposed number of units per this density standard. **Criteria met.**

- C.** *Each unit shall have a minimum width of 60 feet measured at right angles to its side lines for rectangular units. For non-rectangular units, the minimum width on a street shall be forty-five (45) feet with a mean width of 60 feet.*

The provided site plan shows individual pads for each of the proposed manufactured homes, and the smallest rectangular "lots" are compliant to the minimum 60 foot width. One lot in the NW corner of the development (lot 37) is non-rectangular, but complies with the lesser standard at the front setback line as required. **Criteria met.**

- D.** *Front setback of any manufactured home shall be no less than ten (10) feet from the curb.*

All proposed pads appear to conform to this requirement, and all units can maintain the required 10 foot setback from internal roadways. **Criteria met.**

- E.** *Where an alley is provided adjacent to the back line of the unit, there shall be a minimum setback of five (5) feet from said back line. Where there is no alley, the setback from the back line of the unit shall be not less than ten (10) feet.*

There are no proposed units with alleys leading to the rear of the units. In all cases, the minimum 10 foot rear yard setback on the generalized pads is met. **Criteria met.**

- F.** *There shall not be less than twenty (20) feet of space between manufactured homes in all directions.*

All pads as shown include a minimum separation of 20 feet from all other pads. **Criteria met.**

(cont.)

- G.** *A patio shall be constructed on the ground beside each manufactured home; this patio shall be not less than two hundred (200) square feet in area constructed of concrete of four inches (4") minimum thickness or approved equal.*

There appears to be ample area for this required improvement on each of the proposed pad sites. As a condition of approval, each future building permit for the manufactured homes will need to include the required patio improvement. **Criteria met with conditions.**

- H.** *Except for the area used for the manufactured home, patio, sidewalk, garage and off-street parking space, the entire manufactured home park shall be sodded and maintained with grass, shrubs and trees, which shall be kept in a green and healthy condition.*

As a condition of approval, areas outside of the unit improvements will need to be sodded and maintained with grass, shrubs and trees as is currently done in the other portions of the Woodhaven Manufactured Home park. Existing practices and maintenance will need to continue as part of this 6th Addition. **Criteria met with conditions.**

- I.** *Each unit shall abut on and have access to a street. This street shall be constructed of a seven-ton design in accordance with the Minnesota Department of Transportation Design Standards.*

Each of the proposed unit abuts and will have access to a private street. As a condition of approval, the streets will all need to be constructed to a seven-ton design in accordance with the Minnesota Department of Transportation Design Standards.

The Engineering review memo from HAA dated 2/13/18 (see attached) includes the following comments relating to site access & vehicular traffic:

1. Two access locations are proposed to the site through the existing Woodhaven community via 234th Avenue. The proposed vehicle access is acceptable.
2. The internal road network will be a private system. The road network appears adequate to provide access to the proposed home sites.

All in all, it appears the plans successfully address the City requirements for access to units. **Criteria met with conditions.**

- J.** *A curb and gutter of concrete shall be constructed on each side of the street and the face of this curb shall be at least fifteen (15) feet from the center line of said street. The curb design shall be of a type approved by the City.*

The proposed private road system will need to be built in compliance with these standards. **Criteria met with conditions.**

(cont.)

K. *There shall be an unused area not less than seventy-five (75) feet in depth along each public street or way and this area shall be sodded and landscaped.*

All proposed pads meet this standard with the exception of the northern most and southern most pads adjacent to Highway 47 (units #1 & #17). To address this issue, the applicant has requested a variance for both lots which is reviewed later in this report. Provided the requested variances are granted, **this criteria can be met with conditions.**

L. *Where a manufactured home park site abuts upon other property there shall be a setback of at least thirty (30) feet and this shall be landscaped.*

The minimum 30' setback is shown from all surrounding lands, and required landscaping can be addressed as a condition of approval. Note that we are treating this as an extension of the larger manufactured home park, so Unit 24 is not in violation of this setback requirement. **Criteria met with conditions.**

M. *The parking of more than one (1) manufactured home on any single unit shall not be permitted.*

Only one unit per proposed building site will be included as a condition of any approval. **Criteria met with conditions.**

N. *No manufactured home shall be accepted in poor condition, nor may it be inhabited by a greater number of occupants than that for which it was designed. No one shall build any livable additions to a manufactured home.*

All of these issues will be included as conditions of the CUP for 6th Addition. **Criteria met with conditions.**

O. *Water facilities, sewage disposal and street lighting shall be installed and maintained by the owner of the manufactured park site and shall be constructed in accordance with the laws of the State of Minnesota, the regulations of the State Health Department and the City Code provisions, and requirements of the City and the Minnesota Pollution Control Agency.*

The Engineering review memo from HAA dated 2/13/18 (see attached) includes the following comments relating to sewer & water utilities:

1. The sanitary sewer collection and water distribution system within the community will be a private system (4-4-5.O) but must be constructed in accordance with all applicable state standards and inspected and approved by the City prior to connecting to the public system.

(cont.)

2. A water meter will be required on the main(s) at the connection point(s). Provide a detail and submit specifications for review.
3. There appears to be a conflict between the storm sewer near lots 39 and 47 and the sanitary sewer manhole. Please revise.
4. There is a possible conflict between northern inlet to pond P2 and the sanitary sewer. Please revise.

While there are still issues to address, nothing in this list cannot be overcome. Staff is comfortable recommending approval of the project subject to all engineering comments being successfully addressed prior to the issuance of any permits for the site (grading permits, building permits, etc).

NOTE: As stated earlier, staff did receive updated plans from the applicant on 2/27/18 that sought to address all engineering issues prior to Council review. Unfortunately, HAA did not have ample time to respond to the updates prior to delivery of this report, so a representative from HAA will be present at the meeting to identify what, if anything, is still outstanding. Even if some details remain, staff finds this **criteria can be met with conditions.**

- P. Each unit shall have a 12 foot x 22 foot minimum garage with a ten (10) foot minimum surfaced driveway. Minimum garage setback shall be thirty (30) feet from the curb.*

Plans show that each unit will meet each of these criteria. Any required adjustments to the plans will need to maintain these standards. **Criteria met with conditions.**

- Q. All utility lines within the manufactured home park shall be buried, with one hundred (100) amps at the service box.*

Underground utilities will be part of the conditions of approval, as will the minimum amperage at each service box. **Criteria met with conditions.**

- R. A minimum of ten percent (10%) of the total manufactured home park area shall be devoted to park and recreation and shall be furnished with playground type equipment.*

This criteria mimics Section 11-08-9(3) of the City's subdivision ordinance which states that "a developer of a mobile home park...for which no subdivision of property is required, shall comply with [park dedication standards] or payment of fees in lieu thereof, prior to receiving the City approval of the plot plan for such a development..." The required dedication for a residential subdivision shall be ten (10) percent of the gross area included in the subdivision or development. [11-08-9(B)(1)].

(cont.)

The Park & Trail map within the comprehensive plan does not identify a park need in this portion of the City, so staff would recommend all dedication requirements be fulfilled via a cash-in-lieu of land payment. A per unit fee shall be required per the City's fee schedule in effect at the time of CUP approval. **Criteria met with conditions.**

- S. All boats, boat trailers, hauling, and all other equipment not stored within the manufactured home or the utility enclosure that may have been provided, shall be stored in a separate area provided by the park and not upon the plots occupied by the manufactured homes nor upon the streets within the manufactured home park.*

Per the applicant, "the Woodhaven expansion area will be governed by the same lease and rules and regulations as all other sections of the Woodhaven Community. This includes rules relating to the storage of personal property at each home site. Our property management staff is diligent in working to keep personal property such as boats and trailers, campers etc... off of the home sites. As Woodhaven 6th will have a storage yard area available to its residents, this **criteria is met.**

- T. An adequate office, community building, and storm shelter shall be provided.*

According to the applicant, business operations will be run from the existing office in Woodhaven West, and this addition "meets MN State Department of Health licensing criteria, MN Stat. 1330 for storm shelter and HUD federal requirements for manufactured home communities." The building inspector will be asked to confirm compliance prior to issuance of building permits. Identified deficiencies shall be rectified prior to the issuance of any building permits for the 6th Addition. **Criteria met with conditions.**

- U. A two and one-half (2.5) pound dry chemical fire extinguisher shall be located near the door of every manufactured home. Its classification shall be ABC. An adequate number of all-weather fire hydrants shall be spaced throughout the park, which number and size shall be as approved by the State Fire Marshal.*

As a condition of CUP approval, fire extinguishers will be required as determined by the Fire Marshall. **Criteria met with conditions.**

- V. Garbage collection shall be provided at least once weekly.*

Garbage collection from the existing park will be expanded to include this area on a once per week basis at a minimum. **Criteria met with conditions.**

(cont.)

W. To promote the public health, safety and general welfare of persons within manufactured housing parks, all water systems within manufactured housing parks shall be flushed when the City system is flushed. The owner of each manufactured home park, or its representative, shall contact the Public Utilities Department to schedule the times said park will be flushing the water systems.

As a condition of the CUP, yearly flushing of the water system shall be required. Failure to meet this requirement on a yearly basis shall be grounds for revocation of the CUP. **Criteria met with conditions.**

4. *The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.*

Staff Comment: The City Engineer fully reviewed the sewer and water system serving this site, and there will be no problem serving the site with existing infrastructure. As previously noted, the City Engineer's memo (attached) includes a number of things that must be addressed by the applicant, but all such issues can be addressed as a condition of CUP approval should this move forward.

With regards to police and fire services, this new use will not generate any unusual burdens on such services. **Criteria met.**

5. *Traffic generation by the proposed use is within capabilities of streets serving the property.*

Staff Comment: The internal road network has been updated since the original submittal in two main ways: 1) the access point onto Highway 47 has been eliminated; and 2) an additional local access point has been provided from the south.

While both planning and engineering find the revised roadway configuration acceptable, the fire chief has concerns about adding 55 new units to this area of the community with only one way in and one way out for emergency vehicles (Cree Street NW). To address this problem, an emergency only access designed with a reinforced grassy surface is recommended to be established in a location identified by the City Engineer prior to occupancy exceeding 25% in the 6th Addition. **Criteria met with conditions.**

**Additional
Performance
Standards:**

While not technically a subdivision of land, expansion of the existing Woodhaven Manufactured Home Park requires adherence to the following design standards within code:

- **Park Dedication.** Per Section 11-08-9(3) of the City's subdivision ordinance, "a developer of a mobile home park...for which no subdivision of property is required, shall comply with [park dedication standards] or payment of fees in lieu thereof, prior to receiving the City approval of the plot plan for such a development..."
 - The required dedication for a residential subdivision shall be ten (10) percent of the gross area included in the subdivision or development. [11-08-9(B)(1)].
 - The Park & Trail map within the comprehensive plan does not identify a park need in this portion of the City, so staff would recommend all dedication requirements be fulfilled via a cash-in-lieu of land payment. A per unit fee shall be required per the City's fee schedule in effect at the time of CUP approval. **Criteria met with conditions.**
- **SAC & WAC fees.** Sewer and Water access charges, if determined to be applicable, shall be paid in a lump sum fee or in a per unit fee as individual building permits are issued. **Criteria met with conditions.**

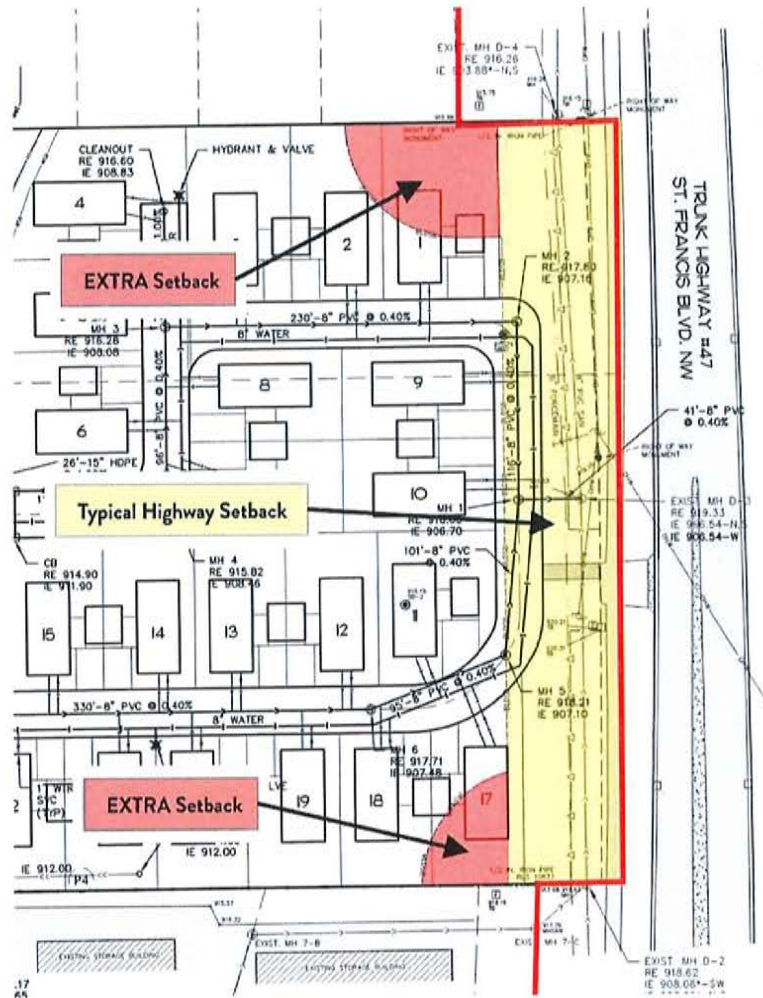
**Lot Variance
Review:**

As noted on page 12 of the report, building pads #1 and #17 are technically too close to MnDOT right-of-way and will need variances to become buildable. Specifically, the variance would be from City Code Section 4-4-5(K) which requires a 75' setback from all public right-of-ways. Per City Code Section 4-4-7, variances from this portion of City Code follow the same procedures as a standard zoning variance, and all of the following questions must be successfully addressed:

- a) *That there are exceptional, unique, or extraordinary circumstances or conditions as to the property that do not apply generally to other properties in the City.*

This property IS unique in that it juts out into the right-of-way for Hwy 47. Whereas nearly all properties on the western side of Highway 47 only have one 75' setback from the property line adjacent to the highway, this property also has 75' setbacks from portions of the northern and southern side lot lines. If not for this peculiar configuration, the two lots in question would be conforming to the required setback. **Criteria met.**

(cont.)



- b) *That such variance is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the City. The possibility of increased financial return shall not be in itself deemed sufficient to warrant a variance.*

All proposed building pads would be conforming if this property did not uniquely jut out into the Highway ROW. **Criteria met.**

- c) *That the authorizing of such variance will not be of substantial detriment to adjacent property and will not materially impair the intent and purpose of this Section or the public interest.*

All proposed building pads will meet the standard 75' setback from the Highway shared by all other properties along Hwy 47. The units in question will not look out of place on the property, and will still be setback further from the Highway than the existing home. We see no manner in which the proposed building pads will conflict with adjacent lands. **Criteria met**

- (cont.) d) *That the condition or situation of the specific piece of property or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature as to make reasonably practicable the formulation of a general regulation for such conditions or situations.*

There is only one other parcel on the western side of Highway 47 that shares this unique configuration, and it is already fully developed. Additionally, because the only other parcel contains multifamily homes rather than a manufactured home park, those lots were permitted to within 30 feet of the highway which resulted in structures approximately 50' from the eastern property line. As proposed, this development will have structures no closer to the eastern property line than 75'.

Criteria met.

- e) *That the variance observes the spirit and intent of this Section, produces substantial justice, and is not contrary to public interest.*

Approval of the requested variances would simply allow this property to be used the same as every other property along the western side of Highway 47, will allow for full utilization of the land, and does not generate any impacts detrimental to the public. **Criteria met.**

Given the analysis above, both staff and the Planning Commission find the requested variances are justifiable.

Additional Information:

- Completion of this development will also require the approval of an administrative subdivision to combine the two lots currently owned by the applicant. Per the City's subdivision codes, this is an administrative process that can run concurrently with the CUP application. **As a condition of any approval**, staff suggests the CUP be contingent on the applicant finalizing and following through on any conditions of approval placed on the administrative subdivision.

Per the HAA memo dated 2/13/18, the following additional items must also be addressed as a condition of any approval:

- The stormwater drainage report must be certified.
- There are existing sanitary sewer facilities along the eastern edge of the site that are presumably within an existing easement (possibly prescriptive). Per the note on the ALTA survey, easement information was not found. The applicant must provide proposed drainage and utility easement sketch and description for review.
- Likewise, there is an existing trail on the eastern edge of the site that is presumably within an existing easement (possibly prescriptive). Per the note on the ALTA survey, easement information was not found. Provide proposed drainage and utility easement sketch and description for review.
- This site disturbs more than 1 acre and therefore a NPDES Construction Permit from the MPCA is required.

- (cont.)
- Provide detail (enlarged view with elevations detailed) for curb drain openings located in the south west corner of the property. Consider a culvert.
 - There is a label “12in apron IE 910.50” in pond 2 that is not pointing to an object.

NOTE: Staff received updated plans from the applicant on 2/27/18 that sought to address all engineering issues prior to Council review. A representative from HAA will be present at the meeting to identify what, if anything, on this list is still outstanding. Even if some details remain, staff finds they can be conditions of approval.

- Engineering Review:**
- An Engineering review memo dated 2/13/18 was penned by Hakanson Anderson and is attached to this report.

- Public Comment:**
- The only speaker at the public hearing, Kelly Jean Kelley (4100 Degardner Circle), requested that the applicant be required to install a fence in-between her property and the proposed new manufactured home park citing an existing problem with kids hanging out in the woods behind her home. In response to the request, the applicant indicated they would not be in favor of doing so as 1) fences are not conducive to their developments as the future residents, like all residents, typically like to look at nature in their backyards and not artificial barriers; and 2) they feel that kids typically only trespass in areas they cannot get caught, and the proximity of these new homes to the woods may actually decrease the existing problem.

From the City's perspective, staff pointed out that the City can only require a fence be installed by the applicant if one is specifically needed to gain compliance to a city standard. As there does not appear to be any standard that would mandate a fence on any portion of this development, staff cannot recommend requiring a fence as a condition of approval. Adjacent property owners are all free to construct fencing on their private properties if they determine such is necessary.

Conclusion:

The applicant is proposing to expand the existing Woodhaven Manufactured Home park by adding fifty-five (55) new building pads on land to the North and East of the existing park. Variances are requested to allow two lots (#1 & #17) to be within 75' of public right of way.

Staff Recommendations:

- Approval of the CUP subject to conditions listed on pages 21 through 23.
- Approval of the requested right-of-way setback variances for units 1 and 17.

Commission Options:	<p>The City Council has the following options:</p> <ul style="list-style-type: none">A) APPROVE THE REQUESTS based on the applicant’s submittals and findings of fact.B) DENY THE REQUESTS based on the applicant’s submittals and findings of fact. <ul style="list-style-type: none">▪ Based on an application date of 11/16/2017, the 60-day review period for the PUD application would have expired on 1/15/18. Due to this item being tabled by the Planning Commission in December and a delay in receiving updated plans, this deadline was extended an additional 60 days bringing the final deadline for a decision to 3/16/18. As this is the final City Council meeting prior to the deadline, a decision must be made at this meeting unless the applicant chooses to grant the City an extension in writing.
Template Denial Motion:	<ul style="list-style-type: none">▪ “I move that we deny the requested conditional use permit and variances based on the following findings of fact:”<ul style="list-style-type: none">○ <i>(provide findings to support your conclusion)</i>
Template Approval Motion:	<ul style="list-style-type: none">▪ “I move we approve the requested conditional use permit and variances based on the findings of fact listed on pages 20 & 21 of the report and subject to the conditions listed on pages 21 through 23 as may have been amended here tonight.”
Suggested Findings of Fact:	<ol style="list-style-type: none">1. The proposed land use is consistent with comprehensive plan guidance for the properties; and2. The use will be compatible with present and future surrounding land uses; and3. Performance standards for manufactured home parks can be met provided all issues and conditions outlined by staff in the report are successfully addressed; and4. The proposed use can be accommodated with existing city services and is not anticipated to overburden the City's service capacities; and5. Traffic issues can all be handled provided all issues outlined by staff in the report are successfully addressed; and6. This property is unique in that it juts out into the right-of-way for Highway 47, and but for this unique configuration, all proposed building pads would be conforming; and

7. All proposed building pads will meet the standard 75' setback from the north-south property line along the Highway; and
8. The proposed variances are not generally applicable to properties along Highway 47 as only one other property shares this unique configuration, and that property is already fully developed with structures closer to the Highway than what is proposed on the Property; and
9. The variances will allow the property to be used similarly to every other property along the western side of Highway 47, will allow for full utilization of the land, and will not generate any impacts detrimental to the public.

**Recommended
Conditions:**

1. All changes required by the City Engineer in their memo dated 2/13/17 shall be addressed to the satisfaction of the City Engineer prior to the issuance of any permits for the site (grading permits, building permits, etc). Rearrangement of pads, if necessary to address engineering issues, may be administratively permitted provided the new pad arrangement still meets minimum code standards for area, width, etc.
2. Areas surrounding units shall be sodded and maintained with grass, shrubs, trees and other landscaping; and existing maintenance practices for outdoor areas of the Woodhaven Manufactured Home Park shall continue as part of the 6th Addition.
3. All streets shall be constructed to a seven-ton design in accordance with the Minnesota Department of Transportation Design Standards.
4. Concrete curb and gutter, in a design approved by the City Engineer, shall be constructed on each side of all proposed streets, and the face of each curb shall be at least fifteen (15) feet from the center line of the street.
5. Landscaping along abutting non-manufactured home park lands shall be installed per proposed plans prior to the occupancy of units in the 6th Addition.
6. Only one dwelling unit shall be constructed per identified home site in the 6th Addition.
7. No manufactured home in the 6th Addition shall be accepted in poor condition, nor may it be inhabited by a greater number of occupants than that for which it was designed.
8. Once units are established within the 6th Addition, no livable additions to existing manufactured homes shall be allowed. Replacement units shall meet minimum standards for setbacks and spacing in order to be permitted.

- (cont.)
9. Water facilities, sewage disposal and street lighting shall be installed and maintained by the owner of the manufactured park site and shall be constructed in accordance with the laws of the State of Minnesota, the regulations of the State Health Department and the City Code provisions, and requirements of the City and the Minnesota Pollution Control Agency
 10. Garages and patios meeting minimum code requirements shall be provided for each manufactured home.
 11. All utility lines shall be placed underground, and each manufactured home shall receive a minimum one hundred (100) amps at the service box.
 12. A cash-in-lieu payment to fulfill required park dedication shall be submitted by the applicant prior to the issuance of the first building permit for a manufactured home, OR a per-unit fee shall be assessed at the issuance of each building permit.
 13. The Woodhaven storage area shall be made available to the residents of the 6th Addition.
 14. The building inspector shall confirm available storm shelters are in compliance with all applicable standards prior to issuance of building permits in the 6th Addition.
 15. Fire extinguishers shall be provided to every unit and spread throughout the development as may be required by the Fire Marshall.
 16. Garbage collection shall be provided at least once weekly to the units of the 6th Addition.
 17. All water systems within the 6th Addition shall be flushed when the City system is flushed. The owner shall be responsible for contacting the Public Utilities Department on a yearly basis to schedule the times for flushing; failure to meet this requirement on a yearly basis shall be grounds for revocation of the CUP.
 18. An emergency only access designed with a reinforced grassy surface shall be established in a location identified by the City Engineer prior to occupancy exceeding 25% in the 6th Addition.
 19. Sewer and Water access charges and Trunk Line Charges, shall be paid in a lump sum fee or in a per unit fee as individual building permits are issued.
 20. Prior to any building permits being issued, the applicant shall successfully finalize an administrative subdivision or a re-plat of all lots to establish the full project site as represented in the CUP application.

- (cont.)
21. The applicant shall provide proposed drainage and utility easements and their description(s) for review, and needed easements shall be established prior to any certificates of occupancy being issued within the 6th addition.
 22. The applicant shall enter into a development agreement with the city specifying the responsibilities, securities, and timeline for project completion; subject to approval of the City Attorney.
 23. A financial security (or securities), shall be provided to the city to ensure the installation of proposed site improvements.

cc: ALS Properties Woodhaven, LLC



**ENGINEERING REVIEW
for the City of St. Francis
by
Hakanson Anderson**

Submitted to: City of St. Francis

cc: Joe Kohlmann, City Administrator
Benjamin Gozola, City Planner
Kate Thunstrom, Community Development Director
Craig Jochum, City Engineer

Reviewed by: Shane Nelson, Assistant City Engineer

Date: March 1, 2018

Proposed Project: Woodhaven Manufactured Home Community

Street Location: 23358 St. Francis Blvd

Applicant: A.L.S Properties Woodhaven, LLC

Owners of Record: EICHI Inc.

Jurisdictional Agencies: City of St. Francis, MPCA, MnDOT, MDH
(but not limited to)

Permits Required: City Approval, NPDES Construction Permit, MPCA Sanitary
(but not limited to) Sewer Extension Permit, MDH Water Extension

INFORMATION AVAILABLE

Woodhaven Manufactured Home Community Preliminary Civil Construction Plans, dated 11/16/17 Rev 2/20/18, prepared by Plowe Engineering, Inc.

Woodhaven Manufactured Home Community Stormwater Drainage Report, dated 11/22/17 rev 2/26/18, prepared by Plowe Engineering, Inc.

Conditional Use Permit application, dated 11/16/17

Wetland Delineation Report, dated 10/25/17, prepared by Kjolhaug Environmental Services Company, Inc.

Report of Geotechnical Exploration, dated 1/26/18, prepared by ITCO Allied Engineering Company

Response letter for Eng, Dated 1/29/18 prepared by Plowe Engineering, Inc.

SITE ACCESS / VEHICULAR TRAFFIC

1. Two access locations are proposed to the site through the existing Woodhaven community via 234th Avenue. The proposed vehicle access is acceptable.
2. The internal road network will be a private system. The road network appears adequate to provide access to the proposed home sites.
3. Per the February 21, 2018 CUP report by the City Planner, the Fire Chief has determined that a secondary emergency vehicle access is required. Please incorporate into the plans and details.

SEWER AND WATER UTILITIES

1. The sanitary sewer collection and water distribution system within the community will be a private system (4-4-5.O) but must be constructed in accordance with all applicable state standards and inspected and approved by the City prior to connecting to the public system.
2. A water meter will be required on the main(s) at the connection point(s). Provide a detail and submit specifications for review.

GRADING, DRAINAGE AND EROSION CONTROL

1. The pond elevations in the table do not agree with the updated Stormwater Calculations. Please revise.
2. Revise the wetland outlet elevation as per Stormwater Calculations (908.3 invert elevation). Revise to minimum 15" diameter.
3. Pre-treatment is required in advance of the infiltration basins. Please incorporate pre-treatment prior to discharging to Pond P2.
4. The current grading and/or silt fence encroaches into the wetland buffers. Please provided a restoration plan and specifically shade the areas that must be

restored with wetland buffer seed mix. Include a restoration plan inclusive of proposed seed mix and construction sequence.

5. The stormwater system, once constructed, will be a private system and the owner shall enter into a maintenance agreement with the City to ensure the long term operation and maintenance.
6. Depict wetland edge on western side of property, near western access road.
7. Dual sediment controls are required when grading within 100 feet of a surface water.

STORMWATER MANAGEMENT CALCULATIONS

1. The stormwater calculations model a starting elevation of 907.0 for the wetland, which was the surveyed ice elevation per the response memo, and is acceptable for determining pre vs. post. In addition, please model the 100-year stormwater event with a starting elevation of 908.3 (outlet elevation) to determine the critical 100-year flood elevation. Please report the higher elevation as the HWL on the plans.

OTHER ITEMS

1. There are existing sanitary sewer facilities along the eastern edge of the site that are presumably within an existing easement (possibly prescriptive). Per the note on the ALTA survey, easement information was not found. Provide proposed drainage and utility easement sketch and description for review.
2. There is an existing trail on the eastern edge of the site that is presumably within an existing easement (possibly prescriptive). Per the note on the ALTA survey, easement information was not found. Provide proposed drainage and utility easement sketch and description for review.
3. A drainage and utility easement, minimum 20' in width, shall be provided over the wetland outlet. Please provide easement sketch and description for review.
4. This site disturbs more than 1 acre and therefore a NPDES Construction Permit from the MPCA is required.

SUMMARY AND/OR RECOMMENDATION

We recommend approval subject to the above comments being addressed, payment of all City fees, and establishment of financial securities as required by City Code.



Metropolitan District
Waters Edge Building
1500 County Road B2 West
Roseville, MN 55113

December 21, 2017

Ben Gozola
City Planner
City of St. Francis
23340 Cree Street NW
St. Francis, MN 55070

SUBJECT: Woodhaven Manufactured Home Community
MnDOT Review # S18-015
West of MN 47 and North of 233rd Avenue
St. Francis, Anoka County
Control Section 0206

Dear Mr. Gozola,

The Minnesota Department of Transportation (MnDOT) has reviewed the proposed the Woodhaven Manufactured Home Community site plans. Please address the following issues before any further development:

Proposed Access to MN 47:

The previous traffic concerns have been addressed as the plans now show that there is no proposed access directly onto MN 47.

For questions concerning these comments, please contact Gayle Gedstad at (651) 234-7815 or gayle.gedstad@state.mn.us.

Noise:

MnDOT's policy is to assist local governments in promoting compatibility between land use and highways. Residential uses located adjacent to highways often result in complaints about traffic noise. Traffic noise from this highway could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities having the authority to regulate land use shall take all reasonable measures to prevent the establishment of land use activities, listed in the MPCA's Noise Area Classification (NAC), anywhere that the establishment of the land use would result in immediate violations of established State noise standards.

MnDOT policy regarding development adjacent to existing highways prohibits the expenditure of highway funds for noise mitigation measures in such developed areas. The project proposer is required to assess the existing noise situation and take the action deemed necessary to minimize the impact to the proposed development from any highway noise. If you have any questions regarding MnDOT's noise policy please contact Natalie Ries in Metro District's Noise and Air Quality Unit at 651-234-7681 or Natalie.Ries@state.mn.us.

Design:

Please include the removal of the MN 47 existing access, match and restore the curb and gutter and provide turf establishment where necessary.

Please direct questions regarding these comments to Nancy Jacobson, Metro Design, at nancy.l.jacobson@state.mn.us or 651-234-7647.

An equal opportunity employer

Permits:

Permit #1723 "Miscellaneous work permit" is required for sanitary connections. If an access point is removed a second permit # 1723 will be required.

Any use of or work within or affecting MnDOT right-of-way requires a permit. Permit forms are available from MnDOT's utility website at <http://www.dot.state.mn.us/utility/index.html>.

Please include one set of plans formatted to 11X17 with each permit application. Please submit/send all permit applications and 11 X 17 plan sets to the metro permits email.

Please direct any questions regarding permit requirements to Buck Craig (651-234-7911) of MnDOT's Metro Permits Section.

Review Submittal Options:

MnDOT's goal is to complete the review of plans within 30 days. Submittals sent in electronically can usually be turned around faster. There are four submittal options. Please submit either:

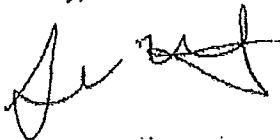
1. One (1) electronic pdf version of the plans. MnDOT can accept the plans via e-mail at metrodevreviews.dot@state.mn.us provided that each separate e-mail is under 20 megabytes.
2. Three (3) sets of full size plans. Although submitting seven sets of full size plans will expedite the review process. Plans can be sent to:

MnDOT -- Metro District Planning Section
Development Reviews Coordinator
1500 West County Road B-2
Roseville, MN 55113

3. One (1) compact disc.
4. Plans can also be submitted to MnDOT's External FTP Site. Please send files to: <ftp://ftp2.dot.state.mn.us/pub/incoming/MetroWatersEdge/Planning> Internet Explorer doesn't work using ftp so please use an FTP Client or your Windows Explorer (My Computer). Also, please send a note to metrodevreviews.dot@state.mn.us indicating that the plans have been submitted on the FTP site.

If you have any questions concerning this review, please contact me at (651) 234-7788.

Sincerely,



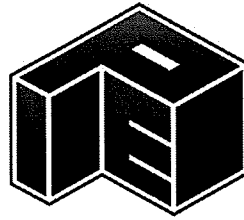
Jennifer Wiltgen
Principal Planner

Copy sent via E-Mail:

Melissa Barnes, Area Engineer
Natalie Ries, Noise
Gayle Gedstad, Traffic
Brian Kelly, Water Resources

MnDOT Metropolitan District, Waters Edge Building, 1500 County Road B2 West, Roseville, MN 55113

Nancy Jacobson, Design
Buck Craig, Permits
Ashley Roup, Right-of-Way
Russell Owen, Metropolitan Council



PLOWE ENGINEERING, INC.

6776 Lake Drive, Suite 110
Lino Lakes, MN 55014
Office 651-361-8210
Fax 651-361-8701
www.plowe.com

To: Shane Nelson, Assistant City Engineer
City of St. Francis
Hakanson Anderson

From: Charles W. Plowe, PE

Date: February 26, 2018

Re. Proposed Woodhaven Manufactured Home Community in the City of St. Francis.

Dear Mr. Nelson,

We have reviewed your project review comments dated February 13, 2018 and prepared the following responses to the items included in your report:

SITE ACCESS/VEHICULAR TAFFIC

1. Noted
2. Noted

~~SEWER AND WATER UTILITIES~~

1. Sanitary sewer and watermains are to be constructed in accordance with all applicable state standards and inspected and approved by the city prior to connecting to the public system.
2. Water meter details will be provided with final plans
3. The appearance of a conflict between a san manhole and storm sewer is caused by a circle drawn to identify the location of a note labeling pipe elevations at crossing.
4. The storm sewer pipe elevation has been adjusted to avoid conflict with sanitary sewer

GRADING, DRAINAGE AND EROSION CONTROL

1. The wetland outlet elevation has been lowered to reduce the proposed HWL to be no greater than the existing HWL.
2. The wetland outlet elevation has been revised and noted in item 1
3. We have reviewed the existing vs. proposed drainage to the west. With the storm sewer revisions and revised drainage calculations the HWL elevations and rates are managed to meet our goals.
4. For pre-treatment sumps w/safl baffles and depressed rip rap areas upstream of BMP have been add to the plans.
5. We have field surveyed the water elevation(ice) in the central wetland at elevation 907.0. It is reasonable to use the recommended seasonal high water table (Allied Testing Co.) in the infiltration basins of 905.5. A 1.5 ft elevation difference from adjacent areas to wetland is not uncommon. With the lowered outlet from the central wetland we have maintained a slightly

- lower HWL than existing. The existing adjacent home lowest opening = 912.21. The existing HWL = 909.95 and proposed HWL = 909.90.
6. There will be some impact to the buffer areas. Buffer areas are to be restored per city requirements. The areas to be restored not shaded and called out with seed mix at the time of printing plans. The information will be added to final plans.
 7. The storm sewer system will be private. A maintenance agreement between the owner and city will be provided.
 8. The wetland edge along the west property line near west access road has been added
 9. Double rows of silt fence are proposed around the central wetland
 10. The storm sewer system for pond 2 has been revised to connect to pond 3.

STORM WATER MANAGEMENT CALCULATIONS

1. The wetland storm water starting elevation of 907 (water surface) is being used. The wetland pipe outlet elevation has been lowered to 908.3. The existing storm sewer on 234th is at 908.23.
2. The impervious area has been revised to be consistent between the drainage calculations and SWPPP plan. The current impervious area has been calculated at 5.65 acres.
3. Revised plans and hydrocad calculations show that the proposed drainage pattern meets the requirements without adding another basin that would need maintenance.
4. See item 5 above.
5. See item 5 above
6. Draw down times for infiltration volumes in ponds at end of this memo.
7. Red-line notes in stormwater calculations have been have been addressed.

Draw down calculations for each pond/basin:

Pond 1:

7,287 cu. ft. volume provided (between elevation 908.5 to 910.0)
 6,057 cu. ft. volume required 72,691 sq. ft. Imperv x 1/12 = 6,057 cu. ft.
 6,057cu. ft. / 5,5654sq. ft. = 1.07 ft 0.8 inch / hour = 0.0667 ft. / hour
 1.07 ft./0.0667 ft/hr = 16 hours

Pond 2.:

9,086 cu. ft. volume provided (between elevation 909.0 to 911.6)
 7,598 cu. ft. volume required 91,182 sq. ft. Imperv x 1/12 = 7,598 cu. ft.
 7,598 cu. ft. / 4,557 sq. ft. = 1.67 ft
 1.67/0.0667 = 25 hours

Pond 3:

17,368 cu. ft. volume provided (between elevation 910.0 to 912.0)
 4,420 cu. ft. volume required 53,037 sq. ft. Imperv x 1/12 = 4,420 cu. ft.
 4,420 cu. ft. /13,402 sq. ft. = 0.33 ft.
 0.33/0.0667 = 4.9 hours

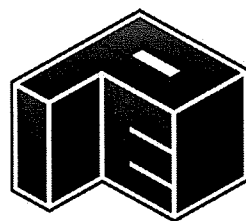
Pond 4:

1,755 cu. ft. volume provided (between elevation 914.0 to 914.5)

417 cu. ft. volume required 5,013 sq. ft. Imperv x 1/12 = 417 cu. ft.

417 cu. ft. / 5,007 sq. ft. = 0.83 ft

0.83/0.0667 = 1.2 hours



PLOWE ENGINEERING, INC.

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www.plowe.com

To: Shane Nelson, Assistant City Engineer
City of St. Francis
Hakanson Anderson

From: Charles W. Plowe, PE

Date: January 29, 2018

Re. Proposed Woodhaven Manufactured Home Community in the City of St. Francis.

Dear Mr. Nelson,

We have reviewed your project review comments and prepared the following responses to the items included in your report:

SITE ACCESS/VEHICULAR TAFFIC

1. The proposed access to HWY 47 has been removed.
2. Access removed
3. We have reviewed the turning movements for the proposed intersection and curved street areas for fire truck and find the turning radius to be ok. We will work with the fire department if there are some concerns in any areas.
4. As part of the construction plans the streets will be designed to accommodate a 7-ton design. Soil borings have been completed and are included in the attached.

SEWER AND WATER UTILITIES

1. Sanitary sewer and watermain are to be constructed in accordance with all applicable state standards and inspected and approved by the city prior to connecting to the public system.
2. We have considered the possible looping of watermain for the northwest area of the site and have decided to not do that.
3. We have added a second connection to the watermain to provide an additional feed to the watermain system.
4. Water meter details will be provided with final plans
5. Sewer and water service locations have been added to the plan
6. Details for the sanitary sewer and water systems have been added to the plans
7. The existing sanitary sewer invert at the proposed manhole where the proposed sanitary sewer will connect to has been field surveyed. The existing elevation is higher than the plan information we were provided. The sanitary sewer elevations have been adjusted accordingly.

GRADING, DRAINAGE AND EROSION CONTROL

1. No existing easement could be found on the north adjacent property in the wetland area. A proposed pipe outlet has been added to the plan to control the HWL within the wetland.
2. An outlet is proposed from the existing wetland and included in the hydro cad model
3. Soil borings have been completed including soils type and water table. The bottom elevation of the infiltration basins has been designed 3 feet or more above the noted water table elevations.
4. Storm water BMPs must be designed in accordance with City standards and State standards. Noted
5. Wetland buffers have been shown on the plans including signage
6. There will be some impact to the buffer areas. Buffer areas are to be restored per city requirements
7. Erosion control has been added to the plans
8. Grades have been adjusted to maintain 1.0% or greater slopes
9. A swale has been added to the plan along the north property line east of the center wetland
10. Peak elevations for the 2, 10 and 100-year events have been added to the plan
11. The owner will enter into an agreement with the city for maintenance of the storm water system
12. Details for storm water BMPs have been added to the plans
13. Notes have been included on plans for stabilization of contributing areas prior to construction of infiltration basins and tests to be performed to ensure infiltration rates meet the design

STORM WATER MANAGEMENT CALCULATIONS

1. Volume control for the 1" of runoff from new impervious areas has been calculated and provided for in basins
2. To the best of our knowledge the offsite contributing drainage areas have been included in the modeling
3. An outlet is proposed for the central wetland
4. An outlet is proposed for the central wetland
5. HWL will be contained within drainage and utility easements within the site boundary. No drainage easements were found for the wetland within the adjacent north property
6. The HWL in the existing wetland does not change any noticeable amount
7. The drainage calculations have been revised and no inconsistencies were found between existing and proposed impervious areas relating to offsite watersheds
8. Time of concentration calculations have been included in the model
9. Volume of water from impervious surfaces was calculated based on information from the MN storm water manual. Please clarify where an error was found
10. Infiltration basins have been designed in accordance with the standard practice used for design
11. Water quality calculations are being prepared
12. An NPDES permit will be required

OTHER ITEMS

1. Preliminary will be removed from final plans
2. Easement sketch and description for existing sanitary sewer to be provided by survey
3. Easement sketch and description for existing trail to be provided by survey
4. The proposed unit in the northeast corner of the site has been removed due to ROW setback requirements

DRAWN BY: C.M.
 CHECKED BY: C.W.P.
 DESIGN BY: C.W.P.
 PROJ. NO.: 17-1729
 ORIGINAL DATE: NOVEMBER 16, 2017

DATE: 1/27/18
 REVISION DESCRIPTION:
 1/27/18 CITY COMMENTS
 2/25/18 CITY COMMENTS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 CHARLES W. ALCOE
 DATE: 02/20/2018 LIC. NO. 19277

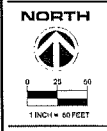
WOODHAVEN MANUFACTURED HOME COMMUNITY
 ST. FRANCIS, MINNESOTA
 GRADING, DRAINAGE & EROSION CONTROL PLAN

PREPARED FOR: ALS PROPERTIES

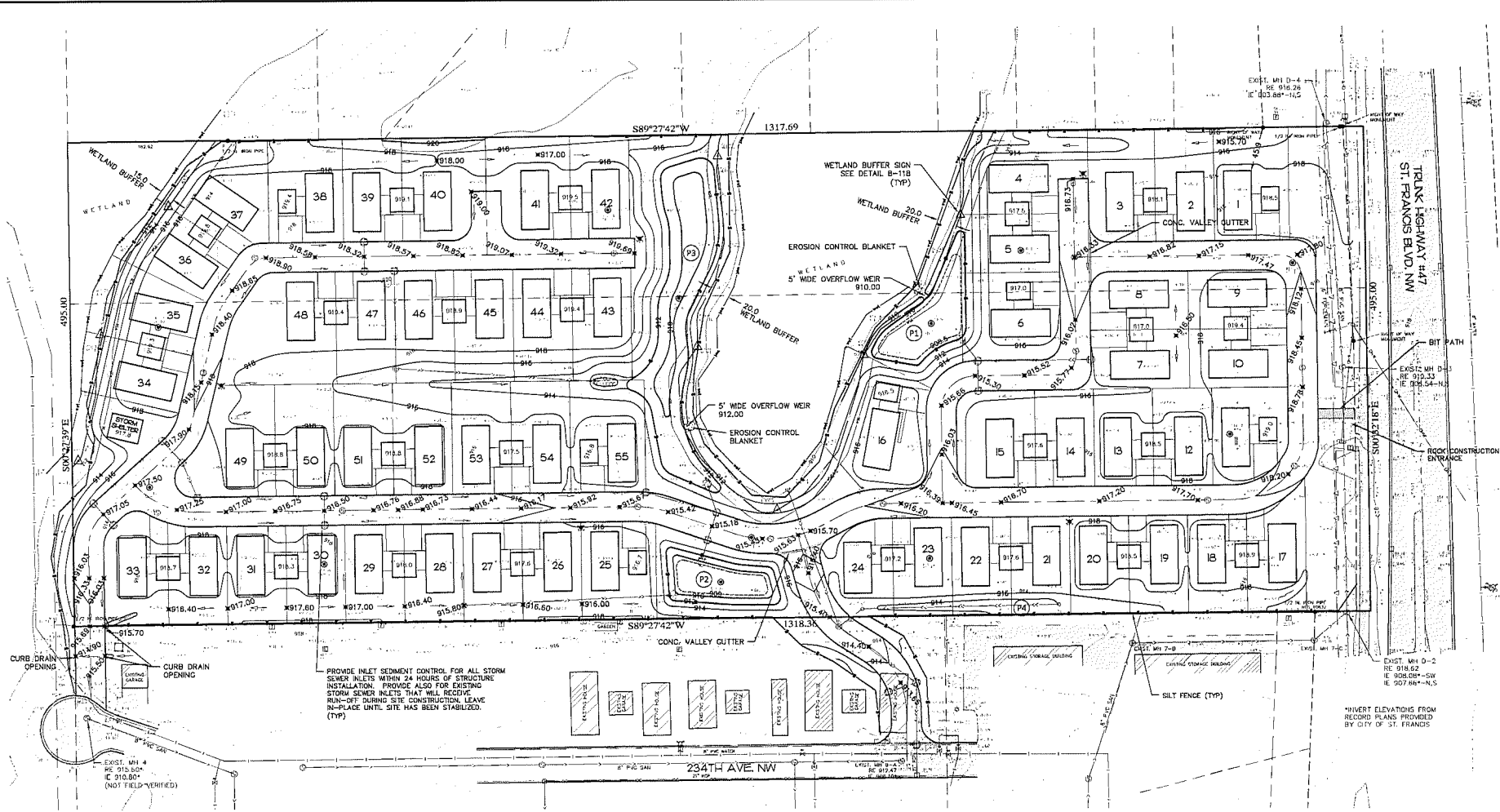


PLOWE ENGINEERING, INC.

6721 LAKE DRIVE
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 LINOXILEND, MN 55244
 PHONE: (953) 951-0210
 FAX: (953) 261-0251



C2



CURB & BITUMINOUS NOTES
 REMOVAL AND DISPOSAL OF EXISTING CURBS MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
 SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURBS TO PROVIDE BUTT-JOINT.
 RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
 BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.
 FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.
 CURB ENDS SHALL TERMINATE IN A THREE-FOOT DEAPER TAIL.

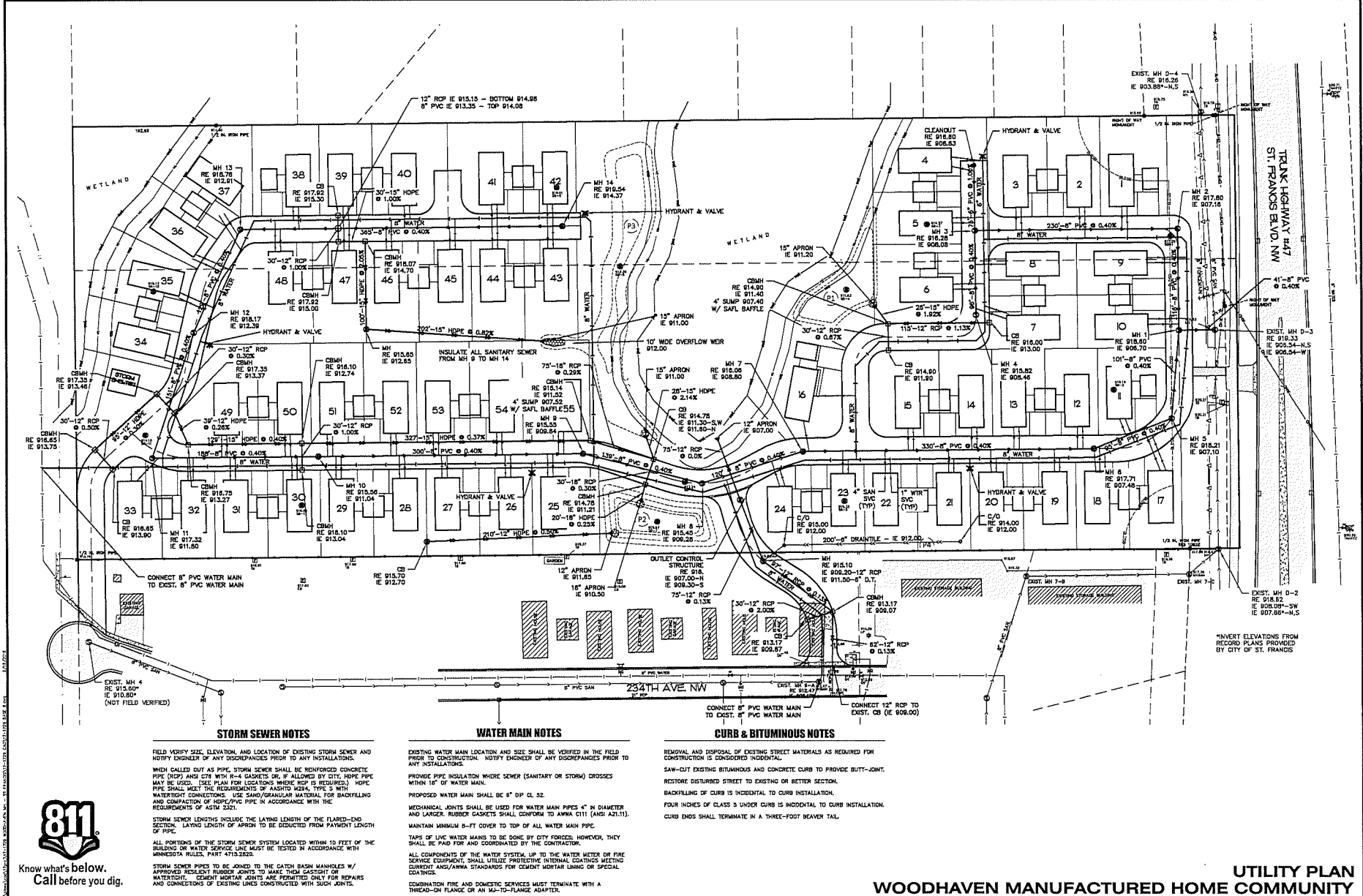
SEE EROSION CONTROL NOTES ON SHEET C4.1

LOCATION	PEAK ELEVATION		
	2-YR	10-YR	100-YR
WETLAND	909.34	910.00	911.30
P1	910.20	910.50	911.30
P2	912.40	913.00	914.00
P3	911.40	912.00	912.50
P4	914.10	914.40	914.90



Know what's below.
 Call before you dig.

**GRADING, DRAINAGE & EROSION CONTROL PLAN
 WOODHAVEN MANUFACTURED HOME COMMUNITY**



STORM SEWER NOTES

FIELD VERIFY SPEC. ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

WHEN CALLED OUT AS PIPE, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) AND E28 WITH R-4 GASKETS OR, IF ALLOWED BY CITY, HDPE PIPE MAY BE USED. (SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED). HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE 3 WITH WATER-TIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF AASHTO M294.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4713.0205.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM CAPABLE OF WATER-TIGHT. GASKETED JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

WATER MAIN NOTES

EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 10' OF WATER MAIN.

PROPOSED WATER MAIN SHALL BE 8" DP CL 52.

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO ANMA C111 (ANSI A21.11). MAINTAIN MINIMUM 8"-FT COVER TO TOP OF ALL WATER MAIN PIPE.

TAPS OF LIVE WATER MAINS TO BE DONE BY CITY FORCES. HOWEVER, THEY SHALL BE PAID FOR AND COORDINATED BY THE CONTRACTOR.

ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT, SHALL UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT AASHTO/ANMA STANDARDS FOR CORROSION RESISTANCE OR SPECIAL COATINGS.

COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD-ON FLANGE OF AN 1/2"-TO-FLANGE ADAPTER.

CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.

RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

FOUR INCHES OF CLASS 3 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.



DRAWN BY:	DESIGN BY:
C.W.P.	C.W.P.
CHECKED BY:	PROJ. NO.:
C.W.P.	17-1720
ORIGINAL DATE:	
	NOVEMBER 16, 2017

DATE: 02/20/2018
 REVISION DESCRIPTION:
 1/20/18 CITY COMMENTS
 7/20/18 CITY COMMENTS
 7/20/18 CITY COMMENTS

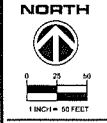
Family code for this plan was developed by me
 I am a Licensed Professional Engineer under the
 laws of the State of Minnesota.
 CHARLES M. ALVORE
 DATE: 02/20/2018 LIC. NO. 18377

WOODHAVEN MANUFACTURED HOME COMMUNITY
 ST. FRANCIS, MINNESOTA

PREPARED FOR: ALS PROPERTIES



PLOWE ENGINEERS, INC.
 6710 LAKE DRIVE, SUITE 110
 LINCOLN LAKE, MN 55354
 PHONE: (651) 361-4210
 FAX: (651) 361-4261



C3

UTILITY PLAN WOODHAVEN MANUFACTURED HOME COMMUNITY

GRAVING, DRAINAGE & EROSION CONTROL NOTES

PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL PROVIDE WINDMILL PROTECTION FOR OTHER APPROVED EQUIPMENT FOR ALL STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF FROM CONSTRUCTION ACTIVITIES.
 CONTRACTOR TO PROVIDE TOPSOIL STOCKPILES AT LOCATION DESIGNATED BY OWNER. PLACE STOCKPILES AS FAR FROM DRAINAGE BASIN AS POSSIBLE. PROVIDE SILT FENCE AT DOWNSTREAM SIDE OF STOCKPILE LOCATIONS. IF STOCKPILES TO BE REPLACED LONGER THAN 7 DAYS, PROVIDE SEED AND MULCH.
 THE CONTRACTOR SHALL PROVIDE ALL SOIL, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING WINDMILL SPECIFICATIONS AS MODIFIED BELOW.

ITEM	WINDMILL SPECIFICATION/NOTED
SOIL	387B
SEED *	387B
* TOP SOIL ESTABLISHMENT	
COMMERCIAL TURF	WINDMILL MIX 20-131 (220 LBS/ACRE)
RESIDENTIAL TURF	WINDMILL MIX 20-131 (120 LBS/ACRE)
TEMPORARY FALL COVER	WINDMILL MIX 21-112 (100 LBS/ACRE)
SPRING/SHOWER	WINDMILL MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	WINDMILL MIX 21-112 (100 LBS/ACRE)
1-2 YEARS COVER	WINDMILL MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	WINDMILL MIX 22-112 (40 LBS/ACRE)
MULCH	388J TYPE 1 - 100% ANCHORED
FERTILIZER	388I
WOOD FIBER BLANKET	388G (CATEGORY 2)

- * HOW & WHEN TO USE:
 - RESIDENTIAL TURF - ONCE PER 2 WEEKS
 - COMMERCIAL TURF - ONCE PER 4 WEEKS
- ** SEEDED AREAS SHALL BE EITHER MOWED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND WOODS PHASE II PERMIT REQUIREMENTS, AND THE WPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS BEST MANAGEMENT PRACTICES FOR MINNESOTA".
 THE CONTRACTOR SHALL PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50 FEET FROM STORM DRAIN, DRAINAGE POND, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE). AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.

THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN-PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.

THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONSISTENT FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
 IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BARRIERS AND EROSION CONTROL BLANKET AS NEEDED.

THE CONTRACTOR SHALL FINAL GRADE SLOPE AREAS UPON STABILIZATION OF UPSTREAM AREAS.

ALL DISTRIBUTION AREAS SHALL BE STABILIZED PRIOR TO CONSTRUCTION OF INFILTRATION BASINS.

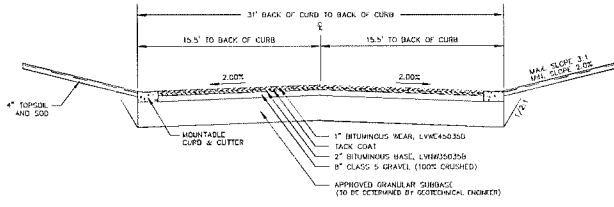
THE CONTRACTOR SHALL SOO ALL DISTURBED DRAINAGE AREAS, INCLUDING CHANNELS, OVERFLOW, ACROSS STORM SEWER FLARED-END SECTIONS, AND OFF-SITE SILENT CATCH BASINS.

UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISK WITHIN 48 HOURS OF FINAL GRADING.

EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES AND SHALL NOT BE PLACED IN SURFACE WATER.

ADJACENT STREETS SHALL BE KEPT CLEAN OF CONSTRUCTION MATERIALS, DIRT, AND OTHER UNSUBSTANTIAL MATERIALS. THESE MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SWEEP/SOAKUP STREETS AS NECESSARY OR AS DIRECTED BY THE CITY.

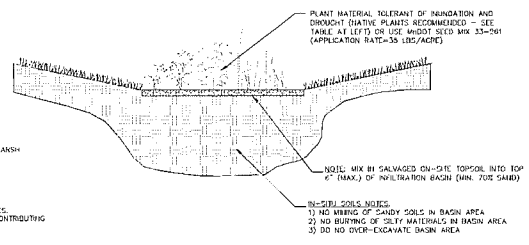
AN INFILTRATION TEST SHALL BE PERFORMED IN THE INFILTRATION BASINS AFTER CONSTRUCTION IS COMPLETED TO ENSURE INFILTRATION RATES ARE GREATER THAN OR EQUAL TO STATED DESIGN PARAMETERS.



STREET SECTION
NOT TO SCALE

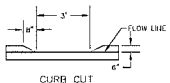
PLANTING SUGGESTIONS

BOTTOM OF BASIN	SIDE SLOPES
NATIVE PLANTINGS	NATIVE PLANTINGS
ORIENT BIRCH-HELD	BIG BLUESTEM
NOEL GRASS (SEED)	BLUE COAT GRASS
ORIENT GRASS	SWITCH GRASS
BLUE FLAG (ING)	BLUE VERBENA
SWAMP MILKWEED	PRairie BLADDERSTAR
TAMARACK	TAMARACK
RED-STEM WED	NEW ENGLAND ASTER
NEW ENGLAND ASTER	RED-STEM DOGWOOD
PRairie BLADDERSTAR	SANDHAY WILLOW
DOGWOOD	BLACK CHOKERRY
BLACK WILLOW	BLACK WILLOW

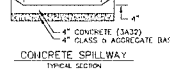


- USE LOW-IMPACT, EARTH MOVING EQUIPMENT (SIDE TRACK OR MANSH TRACK EQUIPMENT OR LIGHT-EQUIPMENT WITH TWIN-TYPE TIRES).
- NO MOWING OF SANDY SOLES ALLOWED IN BASIN.
- FINAL GRADE ONLY UPON STABILIZATION OF UPSTREAM AREAS.
- BASIN TO REMAIN UNSEED.

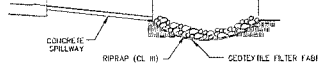
INFILTRATION BASIN
NOT TO SCALE



CURB CUT
NOT TO SCALE



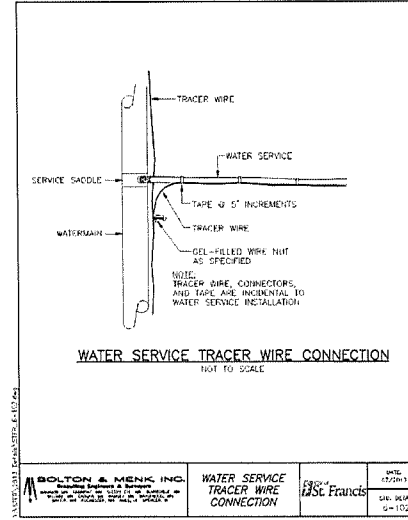
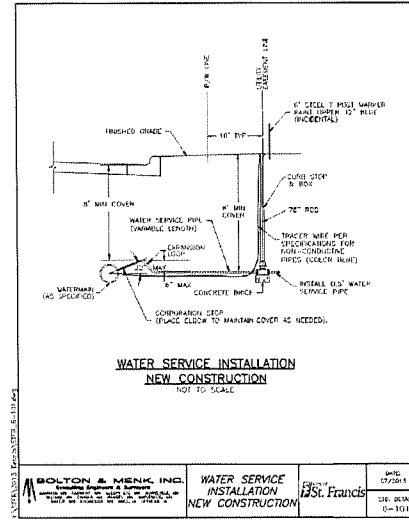
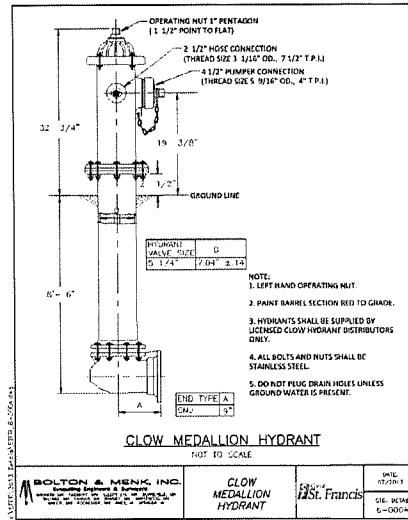
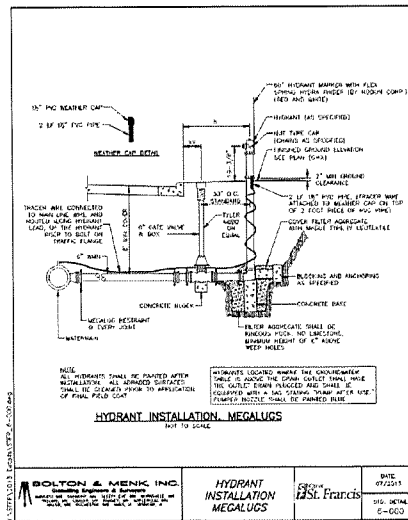
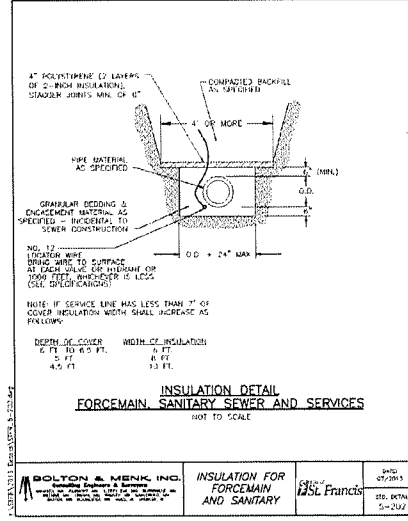
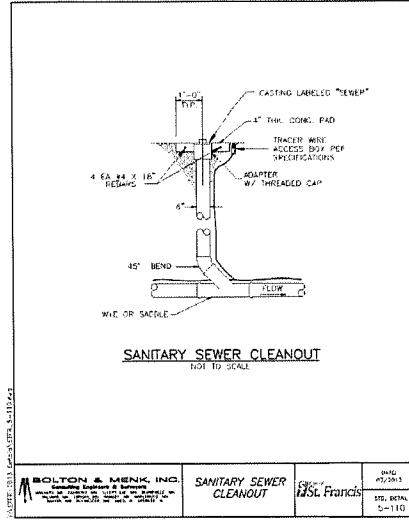
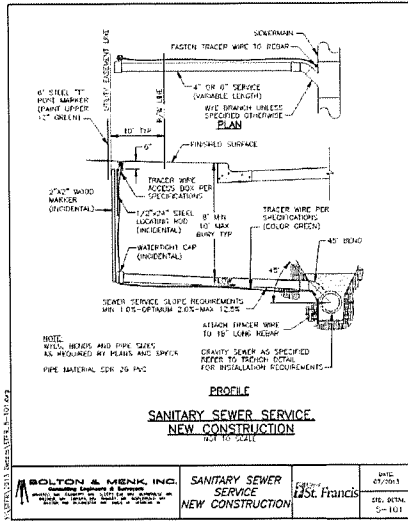
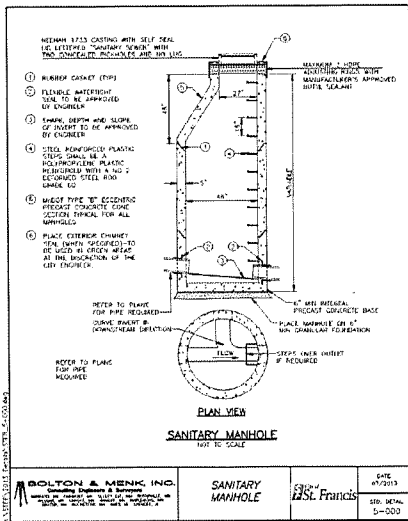
CONCRETE SPILLWAY
TYPICAL SECTION



CURB DRAIN OPENING
NOT TO SCALE

LOT DATA			
LOT #	AREA (SQ. FT.)	WIDTH (AT FRONT) (WALS)	DEPTH (WALS)
1	8740.00	78.00	115.00
2	6900.00	60.00	115.00
3	7734.16	80.00	115.00
4	9820.12	85.00	100.00
5	6000.00	60.00	100.00
6	8925.41	90.00	100.00
7	6903.84	60.00	100.00
8	5914.16	60.00	100.00
9	5914.16	60.00	100.00
10	6903.00	60.00	100.00
11	7134.15	77.78	61.84
12	6000.00	60.00	100.00
13	6000.00	60.00	100.00
14	6000.00	60.00	100.00
15	7828.07	90.00	100.00
16	11730.81	128.74	97.88
17	5820.07	60.00	100.87
18	6004.27	60.00	100.00
19	6000.00	60.00	100.00
20	6000.00	60.00	100.00
21	6000.00	60.00	100.00
22	6000.00	60.00	100.00
23	6000.00	60.00	100.00
24	6155.00	63.92	82.56
25	7268.42	78.00	97.70
26	6000.00	60.00	100.00
27	6000.00	60.00	100.00
28	6000.00	60.00	100.00
29	6000.00	60.00	100.00
30	6000.00	60.00	100.00
31	6000.00	60.00	100.00
32	6051.10	60.00	100.00
33	7188.96	85.50	83.42
34	4424.77	60.00	102.15
35	7808.12	60.17	108.27
36	8878.84	80.03	102.10
37	8316.08	47.63	102.10
38	7880.00	78.00	105.00
39	6300.00	60.00	105.00
40	8141.88	70.50	105.00
41	8141.88	70.50	105.00
42	6300.00	60.00	105.00
43	6000.00	60.00	115.00
44	6000.00	60.00	115.00
45	6800.00	60.00	115.00
46	6000.00	60.00	115.00
47	6000.00	60.00	115.00
48	12964.75	73.84	115.00
49	9258.20	102.82	115.00
50	6000.00	60.00	115.00
51	6000.00	60.00	115.00
52	6000.00	60.00	115.00
53	6000.00	60.00	115.00
54	6000.00	60.00	115.00
55	8740.99	78.00	115.00

DRAWN BY: C.W.P.
 CHECK BY: C.W.P.
 ORIGINAL DATE: NOVEMBER 16, 2017
 REVISION DESCRIPTION:
 DATE: 7/27/18
 BY: C.W.P.
 DATE: 02-20-2018
 LUC. NO. 10327
 PREPARED FOR: ALS PROPERTIES
 WOODHAVEN MANUFACTURED HOME COMMUNITY
 ST. FRANCIS, MINNESOTA
 SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
 875 HAWK DRIVE
 LINO LAKES, MN 55944
 PHONE: (855) 303-6210
 FAX: (855) 301-6781



DRAWN BY: C.M.	DESIGN BY: C.W.P.
CHECKED BY: C.M.P.	PROJECT NO.: 17-1729
DATE: 11/20/13	ORIGINAL DATE: NOVEMBER 16, 2017
REVISION DESCRIPTION	
DATE	BY
11/20/13	C.M.P.
11/20/13	C.M.P.

DATE: 02/20/2018
LIC. NO. 18227

WOODHAVEN MANUFACTURED HOME COMMUNITY
ST. FRANCIS, MINNESOTA

PREPARED FOR: ALS PROPERTIES

PLOWE ENGINEERING, INC.
SITE PLANNING & ENGINEERING
6776 LAKE DRIVE
SUITE 101
LIND LAKES, MN 55044
PHONE: (612) 341-4210
FAX: (612) 341-4851

CONCRETE THRUST BLOCKS
NOT TO SCALE

PIPE (OD) AREA (SQ FT)	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"
16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"
18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"
20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"
24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"
30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"
36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"
42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"
48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"
54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"
60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"

BOLTON & MENK, INC.
DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

GATE VALVE INSTALLATION
NOT TO SCALE

VALVE BOX SHALL HAVE A MINIMUM OF 4" ADJUSTMENT ABOVE AND BELOW CRACK AFTER INSTALLATION.

ADJUSTABLE BOX SHALL BE THICK GROUND APPROVED EQUAL.

NOTE: "WATER" TO BE CAST ON COVER.

VALVE UNDERLAP ANCHORAGE ASSEMBLY AS MANUFACTURED BY ADAPTOR, INC.

TOP GATE VALVE & BOX

GATE VALVE ELEVATION SHOWN

CONCRETE BLOCK

1) GATE VALVE ADAPTER 1/4" GATE WITH UNDERGROUND COATING

2) NEOPRENE CASSETTE INSTALLED BETWEEN THE GATE VALVE AND CAST IRON ADAPTER TO AVOID ANY PRESSURE OR MOVEMENT CAUSED BY ROAD TRAFFIC.

BOLTON & MENK, INC.
DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

MOUNTABLE CONCRETE CURB & GUTTER
NOT TO SCALE

NOTE: CURB SHALL BE PLACED IN A FIELD POSITION AS SUCH TO PROVIDE A 2" DEPTH FROM THE TOP OF CURB TO THE FLOORING WHEN MEASURED ON A LEVEL PLANE.

BOLTON & MENK, INC.
DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

CATCHBASIN - CURB DETAIL FOR R-3250-1 IN MOUNTABLE CURB
NOT TO SCALE

NOTE: MOUNTABLE CURB & GUTTER TO BE FORMED INTO A BELL TYPE AT CATCHBASIN.

SECTION A-A

BOLTON & MENK, INC.
DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

WETLAND BUFFER ZONE SIGN INSTALLATION
NOT TO SCALE

5/16" NUT

2X4X6 GREEN CHANNEL POST

60X60 ALUMINUM SIGN

5/16" X 1/2" BOLT

NOTES:

- MATERIALS TO BE SUPPLIED BY THE DEVELOPER/CONTRACTOR INCLUDE THE FOLLOWING:
 - 4" X 12" X 6' ALUMINUM WETLAND BUFFER SIGN
 - 2" X 4" X 6' 0" 2X4X6 GREEN CHANNEL POST
 - 5/16" X 1/2" 60X60 ALUMINUM SIGN
 - 5/16" X 1/2" 60X60 ALUMINUM SIGN
- EACH BUFFER MARKER SHALL HAVE ONE SIGN FACING PRIVATE PROPERTY.
- SIGN TO BE INSTALLED BY THE DEVELOPER PER THE DRAWING SHOWN AT THE LEFT.
- AS A GENERAL RULE, WETLAND BUFFER SIGN SHOULD BE PLACED AT EVERY OTHER LOT CORNER. HOWEVER, AT NO TIME SHOULD THERE BE MORE THAN ONE BUFFER SIGN IN UNDEVELOPED AREAS AND TWO IN DEVELOPED AREAS.
- SIGN PANELS SHALL CONSIST OF GREEN BACKGROUND WITH WHITE LETTERING. THE "M" DIAMOND SHALL BE WHITE.

BOLTON & MENK, INC.
DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

CONCRETE VALLEY GUTTER
NOT TO SCALE

EXPANSION JOINT (STYP)

CONTRACTION JOINT (STYP)

3-#4 BARS CONTINUOUS

2-#4 BARS CONTINUOUS

3" AGGREGATE BASE CLASS 3

SECTION A

BOLTON & MENK, INC.
DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

DRAWN BY: C.M. PROLMAN
CHECKED BY: C.W.P. 17-1729
DESIGN BY: C.W.P. 17-1729
ORIGINAL DATE: NOVEMBER 18, 2017

DATE: 1/29/18
CITY: COONAPONG
STATE: ILLINOIS

DATE: 02/03/2018
LIC. NO.: 18227

WOODHAVEN MANUFACTURED HOME COMMUNITY
ST. FRANCIS, MINNESOTA

PREPARED FOR: ALS PROPERTIES

DATE: 07/2013
SHEET NO: 1074
SHEET NO: 1074
SHEET NO: 1074

DETAILS
WOODHAVEN MANUFACTURED HOME COMMUNITY
C4.4

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
ANOKA COUNTY**

RESOLUTION 2018 - 11

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT AND VARIANCES
TO ALLOW EXPANSION OF THE EXISTING WOODHAVEN MANUFACTURED
HOME COMMUNITY**

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of St. Francis, Minnesota was held on the 5th day of March, 2018. The following members were present: Mayor Steve Feldman; Council Members Robert Bauer, Joe Muehlbauer, Rich Skordahl, and Jerry Tveit.

Council Member _____ introduced the following resolution and moved its adoption:

WHEREAS, the City of St. Francis is a municipal corporation, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of St. Francis has adopted a comprehensive plan and corresponding zoning regulations to promote orderly development and utilization of land within the city; and,

WHEREAS, A.L.S. Properties Woodhaven, LLC (“Applicant”) is owner of property at 23358 St Francis Boulevard (“Property”) which is legally described as follows:

That part of the Southeast Quarter of the Northeast Quarter of Section 31, Township 34, Range 24 described as follows:

Beginning at a point on the east line distant 529.0 feet north of the southeast corner thereof; thence west at right angles 1320.0 feet; thence north at right angles 330.0 feet; thence east at right angles 1320.0 feet to said east line thereof; thence south at right angles 330.0 feet to the point of beginning.

and

That part of the Southeast Quarter of the Northeast Quarter of Section 31, Township 34, Range 24 described as follows:

Beginning at a point on the east line distant 859.0 feet north of the southeast corner thereof; thence west at right angles 1320.0 feet; thence north at right angles 165.0 feet; thence east at right angles 1320.0 feet to said east line thereof; thence south at right angles 165.0 feet to the point of beginning.

WHEREAS, the Property is split-guided for both medium density residential and commercial uses; and

WHEREAS, the City Attorney determined the applicant can legally proceed with using the entirety of the land for a single land use without having to rezone or re-guide the property in the current Comprehensive Plan as a result of the split-guidance; and

WHEREAS, the Minnesota Department of Transportation has determined that no direct access to Highway 47 from the Property will be allowed regardless of development type; and

WHEREAS, the denial of access to Highway 47 by MnDOT makes medium density residential the logical use for the entirety of the Property; and

WHEREAS, medium density residential zoning allows for the expansion of the existing Woodhaven Manufactured Home Community via conditional use permit; and

WHEREAS, approval of a conditional use permit for a manufactured home community requires compliance to general performance standards for Manufacture Home Parks as Outlined in Chapter 4, Section 4 of City Code; and

WHEREAS, Chapter 4, Section 4-4-5(K) requires all units within a Manufactured Home Park be a minimum of 75 feet from all public rights-of-way; and

WHEREAS, the Property projects into the right of way for Highway 47 and therefore has portions of its side lot lines adjacent to right-of-way; and

WHEREAS, the required 75-foot setback from the side yards adjacent to public right-of-way would eliminate two building pads, and therefore the Applicant has requested a variance to allow construction within the required setbacks; and

WHEREAS, staff fully reviewed the requests and prepared a report complete with findings and recommendations for Planning Commission and City Council consideration; and

WHEREAS, the Planning Commission on December 20, 2017, opened and closed a duly noticed public hearing on the Conditional Use Permit and considered the applicant's submission, the contents of the staff report, public testimony, and other evidence available to the Commission; and tabled the item to give the Applicant time to address a number of outstanding issues; and

WHEREAS, the Planning Commission on February 21, 2018, opened and closed a second duly noticed public hearing on the requested variances and considered the applicant's revised submission, the contents of the staff report, public testimony, and other evidence available to the Commission; and made recommendations for consideration by Council; and

WHEREAS, the City Council subsequently considered on March 5, 2018, the recommendations of Staff and the Planning Commission, the Applicant's submissions, the contents of the staff report, public testimony, and other evidence available to the Council;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of St. Francis hereby approves a Conditional Use Permit and Variances to allow expansion of the existing Woodhaven Manufactured Home Community as proposed in plan sets dated 2/20/18, based on the following findings of fact:

- (1) The proposed land use is consistent with comprehensive plan guidance for the properties; and
- (2) The use will be compatible with present and future surrounding land uses; and

- (3) Performance standards for manufactured home parks can be met provided all issues and conditions outlined by staff in the report are successfully addressed; and
- (4) The proposed use can be accommodated with existing city services and is not anticipated to overburden the City's service capacities; and
- (5) Traffic issues can all be handled provided all issues outlined by staff in the report are successfully addressed; and
- (6) This property is unique in that it juts out into the right-of-way for Highway 47, and but for this unique configuration, all proposed building pads would be conforming; and
- (7) All proposed building pads will meet the standard 75' setback from the north-south property line along the Highway; and
- (8) The proposed variances are not generally applicable to properties along Highway 47 as only one other property shares this unique configuration, and that property is already fully developed with structures closer to the Highway than what is proposed on the Property; and
- (9) The variances will allow the property to be used similarly to every other property along the western side of Highway 47, will allow for full utilization of the land, and will not generate any impacts detrimental to the public.

BE IT FURTHER RESOLVED that approval of the Conditional Use Permit and Variances shall be subject to the following conditions:

- (1) All changes required by the City Engineer in their memo dated 2/13/17 shall be addressed to the satisfaction of the City Engineer prior to the issuance of any permits for the site (grading permits, building permits, etc). Rearrangement of pads, if necessary to address engineering issues, may be administratively permitted provided the new pad arrangement still meets minimum code standards for area, width, etc.
- (2) Areas surrounding units shall be sodded and maintained with grass, shrubs, trees and other landscaping; and existing maintenance practices for outdoor areas of the Woodhaven Manufactured Home Park shall continue as part of the 6th Addition.
- (3) All streets shall be constructed to a seven-ton design in accordance with the Minnesota Department of Transportation Design Standards.
- (4) Concrete curb and gutter, in a design approved by the City Engineer, shall be constructed on each side of all proposed streets, and the face of each curb shall be at least fifteen (15) feet from the center line of the street.
- (5) Landscaping along abutting non-manufactured home park lands shall be installed per proposed plans prior to the occupancy of units in the 6th Addition.
- (6) Only one dwelling unit shall be constructed per identified home site in the 6th Addition.

- (7) No manufactured home in the 6th Addition shall be accepted in poor condition, nor may it be inhabited by a greater number of occupants than that for which it was designed.
- (8) Once units are established within the 6th Addition, no livable additions to existing manufactured homes shall be allowed. Replacement units shall meet minimum standards for setbacks and spacing in order to be permitted.
- (9) Water facilities, sewage disposal and street lighting shall be installed and maintained by the owner of the manufactured park site and shall be constructed in accordance with the laws of the State of Minnesota, the regulations of the State Health Department and the City Code provisions, and requirements of the City and the Minnesota Pollution Control Agency
- (10) Garages and patios meeting minimum code requirements shall be provided for each manufactured home.
- (11) All utility lines shall be placed underground, and each manufactured home shall receive a minimum one hundred (100) amps at the service box.
- (12) A cash-in-lieu payment to fulfill required park dedication shall be submitted by the applicant prior to the issuance of the first building permit for a manufactured home, OR a per-unit fee shall be assessed at the issuance of each building permit.
- (13) The Woodhaven storage area shall be made available to the residents of the 6th Addition.
- (14) The building inspector shall confirm available storm shelters are in compliance with all applicable standards prior to issuance of building permits in the 6th Addition.
- (15) Fire extinguishers shall be provided to every unit and spread throughout the development as may be required by the Fire Marshall.
- (16) Garbage collection shall be provided at least once weekly to the units of the 6th Addition.
- (17) All water systems within the 6th Addition shall be flushed when the City system is flushed. The owner shall be responsible for contacting the Public Utilities Department on a yearly basis to schedule the times for flushing; failure to meet this requirement on a yearly basis shall be grounds for revocation of the CUP.
- (18) An emergency only access designed with a reinforced grassy surface shall be established in a location identified by the City Engineer prior to occupancy exceeding 25% in the 6th Addition.
- (19) Sewer and Water access charges and Trunk Line Charges, shall be paid in a lump sum fee or in a per unit fee as individual building permits are issued.
- (20) Prior to any building permits being issued, the applicant shall successfully finalize an administrative subdivision or a re-plat of all lots to establish the full project site as represented in the CUP application.

- (21) The applicant shall provide proposed drainage and utility easements and their description(s) for review, and needed easements shall be established prior to any certificates of occupancy being issued within the 6th addition.
- (22) The applicant shall enter into a development agreement with the city specifying the responsibilities, securities, and timeline for project completion; subject to approval of the City Attorney.
- (23) A financial security (or securities), shall be provided to the city to ensure the installation of proposed site improvements.

The motion for adoption of the foregoing resolution was duly seconded by Council Member _____ and, upon vote being taken thereon, the following voted in favor thereof: _____. The following voted against or abstained: _____.

Whereupon the resolution was declared duly passed and adopted the 5th day of March, 2018.

Steven D. Feldman, Mayor

ATTEST:

Barbara I. Held, City Clerk

Dated

The undersigned Applicants have read, understand and hereby agree to the terms of this resolution and on behalf of himself/herself, his/her heirs, successors and assigns, hereby agree to the conditions set forth above, and to the recording of this resolution and attachments in the chain of title of the property.

Dated _____
A.L.S. Properties Woodhaven, LLC

Subscribed and sworn to before me this _____ day of _____, 2018.

Notary Public



**CITY COUNCIL
AGENDA REPORT**
Agenda Item #:
9 B

TO: Mayor & City Council
FROM: Dave Schmidt, Fire Chief
SUBJECT: Enter in to an Auto Aid Agreement with Bethel Fire Department
DATE: 02/28/2018

OVERVIEW:

Historically the Fire Department depends on Mutual Aid from surrounding communities to assist in combating large events such as structure fires and large grass fires. Currently during the hours of 0500-1700hrs we have an Automatic Aid agreement in place with Oak Grove, Ramsey, East Bethel, Bethel and Isanti Fire District. We also currently have a 24/7 Automatic Aid Agreement in place with Isanti Fire District.

The request before you now is to enter in to a more robust agreement for Automatic Aid from the City of Bethel, this would be a mutual agreement between fire departments to be concurrently dispatched to reported structure fires and grass fires in either city. This agreement would provide additional 24/7 coverage and support for both cities in the event of a structure fire or grass fire.

Anticipated start date of this agreement would March 15th, 2018 pending approval from the City of Bethel.

Action to be considered:

Motion to direct the fire department to enter in to a 24/7 Automatic Aid Agreement with the City of Bethel for structure fire and grass fire response.

Attachments:

- St. Francis & Bethel Fire Department Automatic Mutual Aid Agreement

St. Francis and Bethel Fire Department Automatic Mutual Aid Agreement

AGREEMENT TO APPROVE AN AUTOMATIC FIRE DEPARTMENT MUTUAL AID RESPONSE AGREEMENT WITH THE ST. FRANCIS FIRE DEPARTMENT AND THE BETHEL FIRE DEPARTMENT FOR ANY REPORTED STRUCTURE FIRES AND GRASS FIRES FOR ALL HOURS OF THE DAY, ALL DAYS OF THE WEEK.

WHEREAS, the City of Bethel, Anoka County and the City of St. Francis, Anoka County share a border; and

WHEREAS, the Bethel Fire Department and St. Francis Fire Department realize the distance to a burning structure fire and the time it takes to perform an attack, can alter fire suppression effectiveness; and

WHEREAS, the Bethel Fire Department and St. Francis Fire Department realize structure fires and grass fires occurring in our rural community depend on hauled water supply; and

WHEREAS, the Insurance Services Office (I.S.O.), will acknowledge this automatic mutual aid agreement, and may grant additional points for improving the fire protection ratings for each municipality involved; and

WHEREAS, this agreement will also assist to reduce the response times for all additional firefighters and appropriate fire equipment needed to safely perform fire suppression activities.

NOW THEREFORE, BE IT AGREED BY THE GOVERNING BOARDS OF EACH RESPECTIVE FIRE DEPARTMENTS IN THE STATE OF MINNESOTA, as follows:

- 1) All known structure fires and grass fires within the area of the City of Bethel and the City of St. Francis will result in automatically alarming both Bethel Fire Department and St. Francis Fire Department thru the Anoka County Dispatch Center in seek of Mutual Aid.
- 2) Upon receipt of a call for Mutual Aid, the fire department of the other party hereto shall promptly dispatch at least one fire service apparatus with the usual number of personnel to assist with the emergency or to render standby service as the case may be, provided that no fire department of any of said parties shall be obligated to send its fire service equipment or personnel beyond its boundaries if to do so would leave such municipality without any fire service equipment or personnel available within its limits for service at any fire which might subsequently arise therein. In extreme emergencies, however, every effort will be made to redistribute fire service equipment and personnel so as to make it available for any additional needs which might arise during the emergency.

- 3) The fire service equipment and personnel of any fire department assisting the fire department of another governing body in an emergency will immediately upon arrival at the scene of the emergency be under the command of the officer in charge for the body within whose boundary the emergency is situated.
- 4) Although typically no basic charges are made by any party providing assistance rendered to another party under this agreement, parties involved may charges for services depending on the situation
- 5) Each of the parties will maintain insurance policies covering their own equipment and personnel while engaged in furnishing assistance to the other pursuant to this agreement, and each will maintain public general liability insurance protecting itself against claims of third parties
- 6) No party to this agreement nor any officer or employee of any party shall be liable to any other party or to any person on account of failure of any party to this agreement to furnish its fire service equipment or personnel in response to a call for assistance from any other municipalities.
- 7) No liability shall be incurred by a party who shall have summoned assistance under this agreement for damage to, or destruction of, fire service equipment of a party rendering such assistance unless such damage or destruction shall be caused by negligent or malicious conduct of any officer or employee of the municipalities which have summoned assistance.
- 8) Any party hereto may withdraw from this agreement by thirty days' notice in writing to the others
- 9) A copy of this agreement will be on file at the fire department headquarters of each governing body hereto

Whereupon said agreement is declared duly passed and adopted by the St. Francis Fire Department and the Bethel Fire Department this 15th day of March, 2018.

St Francis Fire Department

Bethel Fire Department

St Francis City Administrator

Bethel City Administrator